



An Oifig Náisiúnta um Rialú Foirgníochta agus
Faireachas Margaidh

NATIONAL BUILDING CONTROL AND
MARKET SURVEILLANCE OFFICE

(NBCMSO)

National Shared Services Office Hosted by DCC (Lead Authority)

Vision: “to promote a culture of compliance with the requirements of the Building Regulations”

Purpose: oversight, support and direction for the development, standardisation and implementation of Building Control as an effective shared service in the 31 Building Control Authorities, through the five pillars,

3 Regional Building Control committees

1. 31 Building Control Authorities
2. 31 Market Surveillance Authorities



Support@nbco.gov.ie

[Jennifer Mills MRIAI](#)



National Building Control & Market Surveillance Office

NBCMSO Inspections Update

BUILDING CONTROL INSPECTIONS 2025



**50 SUPPORT INSPECTIONS IN
31 BUILDING CONTROL AUTHORITIES**



- **OVERSIGHT**
- **SUPPORT**
- **DIRECTION**



16.04.2026



NBC & MSO



BUILDING CONTROL INSPECTIONS 2021-2025

Building Control Inspections Data Number of:	2021	2022	2023	2024	Q1/25	Q2/25	Q3/25	Q4/25
Desktop Inspections, the subject of Commencement Notices (CNs) prior to commencement of work	6,818	5,987	6,383	8,300	1,241	1,384	1,523	1,194
Section 11(3) Requests for Compliance Information- CNs plans, specifications, other documents	2,307	2,389	2,568	3,141	500	489	606	506
Inspections of buildings in progress (onsite)*	28,700	34,432	25,456	28,227	9,999	10,691	9,762	11,448
Inspections (other) - e.g., Part G (Hygiene), J (Flues), H (Drainage/Wastewater)	789	718	243	397	171	270	56	63
New/Existing Buildings & dwellings where Building Energy Rating (BER) Certificate sought /checked	20,437	25,891	22,300	14,012	3,427	3,479	6,914	5,201
					15,338	16,313	18,861	18,412
Sub totals	59,051	69,417	56,950	54,077	68,924			

* Includes Number of Dwelling houses in a multi unit development (2 or more), inspected where a commencement notice was validated in a previous year and works on these dwelling houses commenced in subsequent years -Q2, Q3 & Q4 of 2025 **4,743**

2025

5,342 Desktop Inspections

42,460 On site Inspections (Initial, Repeat, Other)

16.04.2026



- CONTEXT : ENFORCEMENT & INSPECTIONS

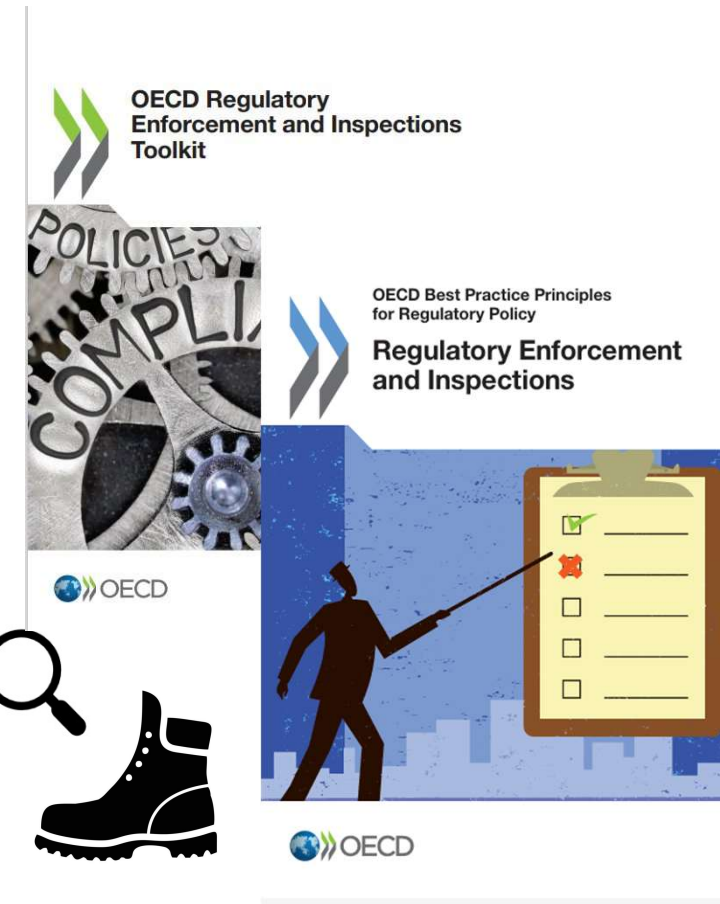
In accordance with the OECD *Best Practice Principles for Regulatory Enforcement and Inspections*,

“**enforcement**” will be taken in its broad meaning, covering all activities of state structures (or structures delegated by the state) aimed at promoting compliance and reaching regulations’ outcomes – e.g. lowering risks to safety, health and the environment, ensuring the achievement of some public goods ...

“**Inspections**” will be understood as any type of visit or check conducted by authorised officials on products or business premises, activities, documents etc.

Note: “How regulations are implemented and enforced, and how compliance is ensured and promoted, are critical determinants of whether a regulatory system is working as intended.”

Inspections are one of the most important ways to enforce regulations and to ensure regulatory compliance





• BUILDING CONTROL ACT SECTION 11

Powers of Inspection by Authorised Persons

- (1) “**authorised person**” means a person authorised for the purposes of this Act by a **building control authority** or by **the Minister**, or by **An Bord Pleanála**, as the case may be.
- (2) Subject to subsection (7), any authorised person shall be **entitled to enter** at all reasonable times into any land (subject to his producing, if so required, his authority in writing as such person) and thereon **inspect** for the purposes of this Act **any building, and any plans or documents** relating to such building.
- (3) Any authorised person may—
 - (a) **inspect any building**—
 - (i) **following its completion**, or
 - (ii) **during its construction**, alteration or extension, or
 - (iii) during the **installation** therein of any **fittings, services or equipment to which building regulations apply**, or
 - (iv) in respect of which any **material change** takes place in the purposes for which such building is used;
 - (b) **require to be informed** by the owner or occupier of such a building, or by any person responsible for the construction of such a building, or by any of the aforementioned persons, to the extent that such persons have knowledge of the matters in question, as to the purpose for which the building, or any part thereof, has been, is being, or will be, used, the number of persons who are, or will be, employed or accommodated therein or who resort or will resort thereto, the substance of which any such building or any part of such building is constructed, and the method of construction employed and as to any other matter which the authorised person considers to be relevant;
 - (c) **require the owner or occupier** of the building, or any person responsible for the construction of the building, **to provide such plans, documents and information** as are necessary to establish whether the requirements of building regulations are being complied with in relation to the building;
 - (d) be **permitted to take such samples of the materials** used in the carrying out of any construction work or take such other action in relation to such construction work as may be necessary **to establish whether the requirements of building regulations are being complied with** in relation to the building.
- (4) An authorised person shall be entitled to be assisted by such persons, and to bring with him such equipment, as he considers necessary to enable him to exercise his powers under this section.



S.I. No. 57 of 2026 REMEDIATION OF DWELLINGS DAMAGED BY THE USE OF DEFECTIVE CONCRETE BLOCKS (AMENDMENT) ACT 2025

Commencement Order 2026

2 [57]

S.I. No. 57 of 2026

REMEDIATION OF DWELLINGS DAMAGED BY THE USE OF DEFECTIVE CONCRETE BLOCKS (AMENDMENT) ACT 2025 (COMMENCEMENT) ORDER 2026

I, JAMES BROWNE, Minister for Housing, Local Government and Heritage, in exercise of the powers conferred on me by section 1(2) of the Remediation of Dwellings Damaged by the Use of Defective Concrete Blocks (Amendment) Act 2025 (No. 20 of 2025), hereby order as follows:

1. This Order may be cited as the Remediation of Dwellings Damaged by the Use of Defective Concrete Blocks (Amendment) Act 2025 (Commencement) Order 2026.

2. The 25th day of February 2026 is appointed as the day on which the following provisions of the Remediation of Dwellings Damaged by the Use of Defective Concrete Blocks (Amendment) Act 2025 (No. 20 of 2025) shall come into operation:

- (a) sections 1 to 4;
- (b) section 5(b);
- (c) section 6;
- (d) sections 8 to 13;
- (e) section 14(d);
- (f) section 16;
- (g) sections 19 and 20;
- (h) sections 22 to 28;
- (i) sections 32 and 33;
- (j) section 37;
- (k) section 39.

GIVEN under my Official Seal,
19 February, 2026.

JAMES BROWNE,
Minister for Housing, Local Government and Heritage

Notice of the making of this Statutory Instrument
"Iris Oifigiúil" of 27th February,

16/04/2026

S3-Information

Interpretation (Part 3)

32. In this Part, "Act of 1990" means the Building Control Act 1990.

Amendment of section 3 of Act of 1990

33. Section 3 of the Act of 1990 is amended, in subsection (2), by the insertion of the following paragraph after paragraph (d):

"(da) making provision for certain specified information to be provided in relation to products, materials or systems used or installed in, or in connection with, buildings or works;"

S11-Warning in writing

Amendment of section 11 of Act of 1990

39. Section 11 of the Act of 1990 is amended, in subsection (3), by the insertion of the following subsection after subsection (3):

"(3A) (a) An authorised person may, where he or she deems it necessary, issue a warning, in writing, to the owner or occupier of the building, or any person responsible for the construction of the building, in relation to any requirement of building regulations or building control regulations.

(b) A warning under paragraph (a) shall—

- (i) specify the provision of the regulations in relation to which the warning relates, and
- (ii) state that the person to whom the warning has been issued may, not later than 4 weeks from the date of the warning, make observations in writing to the authorised person regarding the matters to which the warning relates."

S8-require opening up—to ascertain compliance

Amendment of section 8 of Act of 1990

37. Section 8 of the Act of 1990 is amended—

- (a) in subsection (4), by the insertion of the following paragraph after paragraph (b):
 - "(ba) require a person on whom the notice is served to cut into or lay open any such building or works insofar only as may be necessary to allow the building control authority to ascertain that the building regulations have been complied with in relation to the building or works the subject of the notice,"
- and
- (b) by the insertion of the following subsections after subsection (4)—
 - "(4A) A building control authority may include, in an enforcement notice, a requirement pursuant to subsection (4)(ba) only where it is satisfied that it is necessary following—
 - (a) an inspection by an authorised person, in accordance with section 11, of the building or works in relation to which the enforcement notice is to be issued, and
 - (b) the issue, by an authorised person, of a warning under section 11(3A) stating that the building control authority concerned intends to issue an enforcement notice which includes a requirement under paragraph (ba).
- (4B) Where an enforcement notice includes a requirement pursuant to subsection (4)(ba)—
 - (a) an authorised person shall be present during the works carried out pursuant to that notice, and
 - (b) the notice shall identify—
 - (i) the building, or part thereof, or works to be cut into or laid open,
 - (ii) the provision of the building regulations that are alleged to be contravened, and
 - (iii) the timeframe within which the cutting into or laying open of works is to be carried out."





SECTIONS COMMENCED of the Building Control Act under SI No. 57 of 2026

Section 32 is a standard clause specifying that any reference in Part 3 to the “Act of 1990” means the Building Control Act 1990.

Section 33: Amends **Section 3 (BUILDING REGULATIONS)** of the **Act of 1990**

Allows additional power to the Minister for Housing, Local Government and Heritage may make Building Regulations.

To include the provision of information in respect of systems installed in a building in order to provide the end user with the information necessary to support the efficient and effective operation and use of the building after completion.

Section 37: Amends **Section 8 (ENFORCEMENT NOTICE)** of the **Act of 1990**

Additional powers to the building control authority to require the owner or occupier of a building, or any person responsible for the construction of a building, **to open up construction works**, as may be reasonable in certain circumstances, to be able to ascertain that the relevant requirements of the building regulations, in respect of the works, have been complied with.

The Building Control Authority should ensure that an authorised officer has:

- fully exercised its powers under Section 11,
- issued a warning letter, notifying the building owner of the intention to serve an Enforcement Notice, (directing the opening up of works and identify the particular parts of the building to be opened up, the building regulations that are alleged to be contravened, and the timeframe in which the opening up is to be carried out.
- An authorised officer should be present at the opening up of the works.

Such an Enforcement Notice may be the subject of an appeal to the District Court, under Section 9 of the Building Control Act.

Section 39: Amends **Section 11 (POWERS OF INSPECTION BY AUTHORISED PERSONS)** of the **Act of 1990**

To provide authorised officers of Building Control Authorities with the power

- to **issue a warning letter** in respect of compliance with the building regulations and/or building control regulations **following on from an inspection.**



• BUILDING CONTROL REGULATIONS 20G

Code of practice for inspecting & certifying buildings & works inspections

1.5 Regulatory oversight

A key element in detection is the system of **risk analysis**, whereby the online Building Control Management System, having regard to the notices and documents lodged at commencement, will **inform the Building Control Authority's decisions** to deploy available resources towards the inspection and investigation of those construction projects where the risk of failure is highest. This will help Building Control Authorities to escalate findings of non-compliance and, where necessary, **effectively use their powers** of inspection, enforcement and prosecution in the event of serious breaches of Building Regulations. The aim is that the powers of enforcement and prosecution will become a more credible threat to those who are non-compliant.

Building Control Authorities should adopt a formal policy for the assessment and inspection of building work as notified on the Building Control Management System. Authorities should adopt **a risk management-based approach** in undertaking this work. This will include consideration of matters such as: -

- (a) the use of the building;
- (b) the type of construction;
- (c) the level of experience of the design team and the Builder; and
- (d) past experience regarding compliance by the parties involved in the project.

In addition a level of **random assessment** and inspection should be carried out.

In line with the agreed Service Indicators for Local Government, Building Control Authorities are **required to carry out a level of inspection equivalent to 12% to 15% of new buildings** for which valid Commencement Notices have been received.

Building Control Authorities **should keep full records** of all assessments and inspections carried out. Inspection reports should be made available to the Assigned Certifier and the Builder.





• BUILDING REGULATIONS

Works Which May Be Inspected

All works to which the **Building Regulations Apply** (except buildings occupied by Garda/Defence forces) which include

Article 10 – New Buildings

These Regulations apply to all works (Design and Construction) for every new building, ref. Article 3 & 8 (Application & exemptions)

Article 11 - Alterations and extensions

- Regulations apply to material alteration or extension of a building -
 - only to the extent of prohibiting any works which would cause a new or greater contravention, in such building, of any provision of these Regulations
- Material Alteration is where the work, carried out by itself would be subject to Part A, B or M
- Applies to repair or renewal where works affect the structure of the building
- Part L applies to all renewals except for protected structure
- Part L6 of the Second Schedule of these Regulations shall apply to major renovations in respect of dwellings

Article 12 - Services, Fittings and Equipment

The Regulations apply where

Parts G-Hygiene

Part H-Drainage and Waste Water Disposal or

Part J-Heat Producing Appliances

pose a requirement, ref. Article 3 & 8 (application & exemptions)

Article 13 - Material Changes of Use

Material Change of use is defined in this Article and the Act

The following parts of Second Schedule apply

Part A1, A2, B, C4, F, G, H, J, L, M (not dwellings)

***Building Regulations
Health, Safety & Welfare of
People
in or about Buildings***

16.04.2026



• INSPECTIONS - BUILDING REGULATIONS

4.1 Aims of risk assessment

The risk assessment aims to:

(a) Identify those buildings and works that should be targeted for inspections by Building Control Authorities and identify:

- points in the **construction programme** where the risk posed by non-compliance warrants inspection; and
- Points in the **construction programme** where the Building Control Officer will have the opportunity to view work prior to being covered over and/or is able to pre-empt non-compliance through reviewing work in progress.

(b) Identify the number of visits that might reasonably be anticipated for inspecting the building work given the risk posed by non-compliance.



Long periods of exposure to UV light can reduce the effectiveness of a membrane. However, during



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• INSPECTIONS - BUILDING CONTROL REGULATIONS

Obligation to give notice.

8. A person who intends to carry out any works, or to make a material change of use as regards a building to which this Part applies, shall give, to the building control authority in whose functional area the works or building are, is or will be situated, notice in writing of such intention (in these Regulations referred to as a “commencement notice”) **not less than fourteen days and not more than twenty-eight days before the commencement of the works** or the making of the material change of use.)

“works” includes **any act or operation** in connection with the construction, extension, alteration, repair or renewal of a building.

Inspections are **spot check of critical items or at critical milestones** in the construction process to check for any non-compliance with Regulations A to M of the Second Schedule to the Building Regulations, and their associated Technical Guidance Documents. (PRIMA FACIE)

Follow-up inspections to check compliance may also be required for any issues / contraventions which arise from previous inspections.

COMMENCEMENT OF THE WORKS...?



Figure 2: Module being hoisted with specially designed lifting frame



• INSPECTIONS - BUILDING REGULATIONS

"Desktop Technical Assessment" - means an office-based assessment checking for compliance with the Second Schedule to the Building Regulations of a valid Commencement Notice/ 7 Day Notice but excluding normal assessment procedures of FSCs and DAC's or an On-Site Technical assessment of the works for compliance.

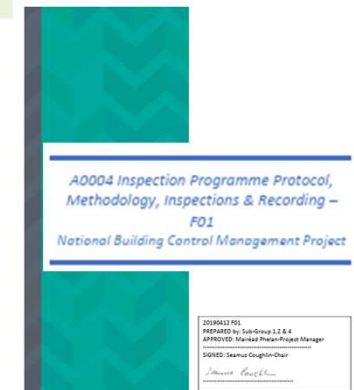
"On-Site Technical Inspection" - means a physical site-based assessment of the works checking for compliance with the Second Schedule to the Building Regulations. This may include an office-based assessment prior to, or after the site visit but this should not be double counted in the column "Desktop Technical Assessment only"

Building Stages/Milestones

1. PRE-INSPECTION
2. Formation Stage
3. Foundation Stage
4. Ground Floor Stage
5. Roof Structure Stage (prior to slabbing ceilings)
6. Completion Stage
7. ADMINISTRATIVE- Review of documentation submitted

Means of Compliance

- Prima facie -TGDs
- Codes of practice
- Standard Recommendations
- A.C.D.s etc
- Irish Standard (I.S.) or
- Irish Agrément Certificate (IAB) or
- alternative national technical specification (equivalent level of safety & suitability).
- Design etc,



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National Building Control & Market Surveillance Office

NBCMSO Inspections Update

• INSPECTIONS - BUILDING CONTROL REGULATIONS

9. Form of Notice

(1) A commencement Notice shall be

... (b) subject to paragraph (2) , accompanied by —

(i) such plans, calculations, specifications and particulars as are necessary to **outline how the proposed works or building will comply with the requirements of the Second Schedule to the Building Regulations** relevant to the works or building concerned, and including —

- (I) general arrangement drawings including plans, sections and elevations,
- (II) **a schedule** of such plans, calculations, specifications and particulars as are **currently designed** or **as are to be prepared at a later date**,
- (III) the completion of an online assessment, via the Building Control Management System, of the proposed **approach to compliance** with the requirements of the Second Schedule to the Building Regulations,
- (IV) **the preliminary Inspection Plan** prepared by the Assigned Certifier, and

(ii) the following certificates and notices in the appropriate forms set out in the Second Schedule —

- (I) **a Certificate of Compliance (Design)**,
- (II) a Notice of Assignment of Person to Inspect and Certify Works (Assigned Certifier),

16.04.2026

6. Submission of Documents (where applicable): A Schedule of Documents accompanying this Commencement Notice is attached in the following format:

Schedule of Documents (Plans, Calculations, Specifications, Ancillary Certificates and Particulars)		
Document	Reference	Description/Remarks



IRISH AGRÉMENT BOARD
CERTIFICATE NO. 26/0449
 Castle Group/Castle Modular,
 Raheen,
 Gort,
 Co. Galway,
 H91 KP46
 T: +353 (091) 771 823

RESPONSIBILITIES

Prior to the commencement of the contract, the responsibilities are determined and agreed between Castle Group and the Client including substructure, fire stopping, cavity barriers, roof completion, coordination of design and other elements.



Local Authority
 Main st
 Main rd
 Dublin

Unique Identifier: **8505840**
(for official use only)

BCMS
 Building Control Management System

Design Certificate - Form of Certificate of Compliance (Design) (Article 20A)
 Building Control Acts 1990 AND 2007



NBC & MSO



DESKTOP TECHNICAL INSPECTIONS

PART	TYPICAL INFORMATION 5.1 Refer to Code of Practice ¹	YES	NO	NA
A ⁱ	Are load bearing elements (e.g. foundations, walls, beams, joists, columns etc.) identified and sizes and specification of same annotated or illustrated? Are details in accordance with Technical Guidance TGD A	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
B ⁱⁱ	Are compartments, protected areas such as corridors & stair enclosures and escape routes identified, and specific measures described including details of cavity barriers, fire doors, escape windows and final exits? Are details in accordance with TGD B² or TGD B(Dwelling houses)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
C ⁱⁱⁱ	Is the requirement for subsoil drainage described or illustrated, including reference to associated calculations? Are radon measures including number and location of sumps illustrated? Are details in accordance with Technical Guidance TGD C	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
D ^{iv}	Are materials and standards of workmanship specified? Are critical glazing locations identified? Is a letter plate aperture provided? Are details in accordance with TGD D	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
E ^v	Are sound tests required (terraced or semi-detached dwellings, apartments etc) and requirements for sound resistance annotated or illustrated? Are details in accordance with Technical Guidance TGD E	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
F ^{vi}	Is the ventilation strategy clearly identified? Are window openings and vents indicated with reference to calculations associated with the relevant ventilation strategy? Are details in accordance with Technical Guidance TGD F	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
G ^{vii}	Are sanitary conveniences and details of hot and cold-water provision clearly identified on drawings. Are details in accordance with Technical Guidance TGD G	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
H ^{viii}	Are details of foul wastewater and surface water treatment and disposal measures including routes and sizes of systems illustrated or specified on drawings? Are details in accordance with Technical Guidance TGD H	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
J ^{ix}	Has the need for fuel storage provision been highlighted and are details indicated on drawings? Are details in accordance with Technical Guidance TGD J	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
K ^x	Are details of stairs & guarding annotated or illustrated on drawings. Are details in accordance with Technical Guidance TGD K	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



PART	TYPICAL INFORMATION 5.1 Refer to Code of Practice ¹	YES	NO	NA
L ^{xi}	Are details of the fabric of the building illustrated or annotated (including insulation dimensions and or U-values, air tightness line etc.) Is the location of any plant within or outside the building indicated on drawings? Are thermal bridges <u>identified</u> and calculations provided or scheduled. Are details in accordance with Technical Guidance TGD L or TGD L(Dwellings)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
M ^{xii}	Are measures of accessibility illustrated or annotated on drawings including access into the building, including ground levels, circulation dimensions and provision of accessible sanitary conveniences. Are details in accordance with Technical Guidance TGD M	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	Do the drawings outline how the proposed works or building will comply with the requirements of the Second Schedule to the Building Regulations Parts A-M relevant to the works or building concerned?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Where an answer is No is or will compliance with the relevant Parts of the Building Regulations be demonstrated in calculations, specifications or particulars listed in the Schedule of Documents submitted with the commencement Notice?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	Is the information on the drawings related to the building or works and the location described in the project Particulars?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	Are works to existing buildings clearly identified as such?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	Are dimensions given in SI units and is an appropriate scale given?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	Are details of the person responsible for the preparation of the drawings given?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

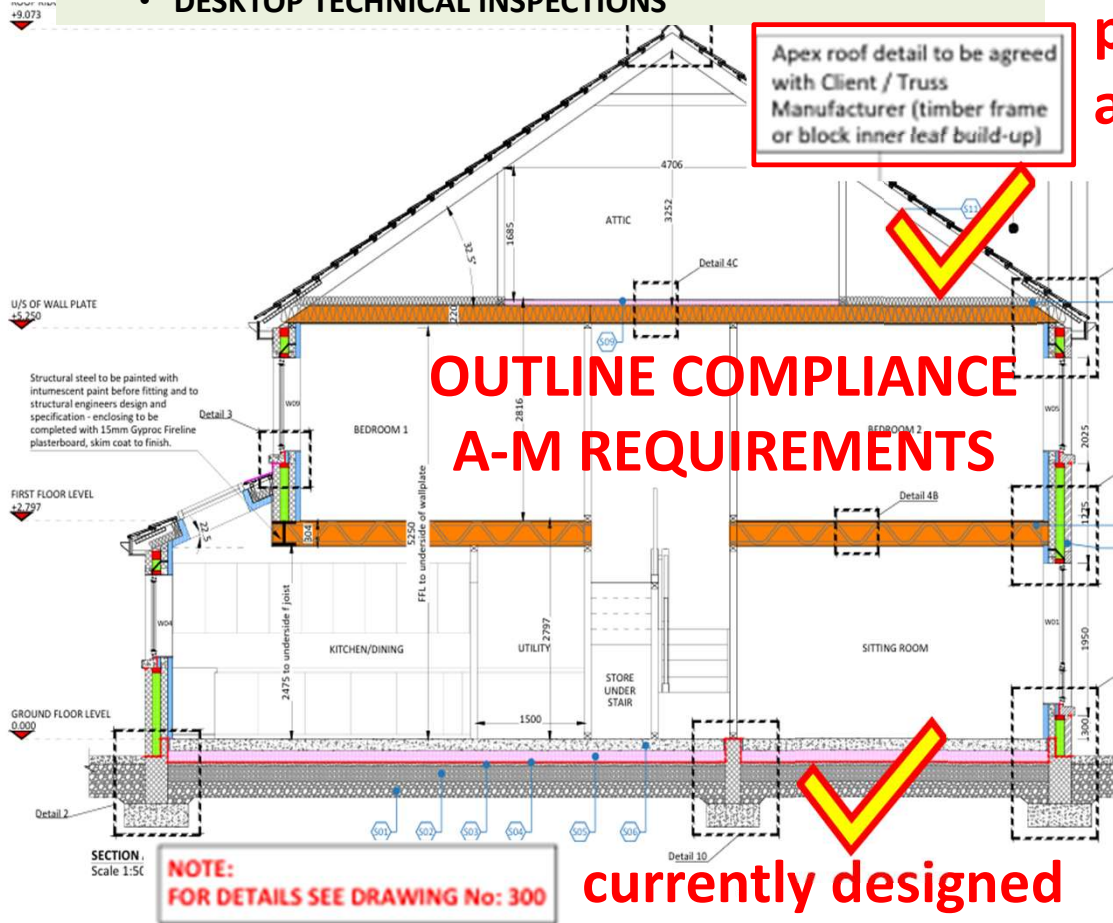


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NBCO Sample Schedule of Documents Q6 Schedule of Documents (Plans, Calculations, Specifications, Ancillary Certificates & Particulars); Ref. BCAR Article 9(1)(b)(i)(ii)
Erection of a New two-storey, two-bay, detached Dwelling of masonry construction with wastewater treatment system and Detached Garage at a Field, Townland, County Local Authority

DESKTOP TECHNICAL INSPECTIONS



prepared at a later date


currently designed

Documents	Reference	Description /Remarks
General Arrangement Drawings (GAD)	GAD_Particulars_100_Compliance Report based on Building Regulations A - M ref: GAD_Plan_200_Site Location/Layout plan at a scale of 1:1000/1:2500 GAD_Particulars_300_Site investigation reports	Designed /Uploaded Designed /Uploaded Designed
Ancillary Certificates Ref. Table C.2 CoP	A, E, B; ANCILLARY CERTIFICATE OF COMPLIANCE: DESIGN as required (Ref. For Practice Note 17 1 - Ancillary Certs CLICK HERE (supporting Ancillary Certification available on request)) Confirmation of the use of proper materials. • Aggregate concrete Blocks • Internal/External Render • Roof slates • Timber • Trusses • Pipework • Underfloor Fill • Radon installation • etc	Designed Designed & TbdL
Supporting Documents	Plan_DWG_201B_Window & Door Schedule (Shop) Plan_DWG_Electrical Layout Schedule CALC_DWG_103E_Beams & Lintels Schedule, Specifications & Drawings CALC_DWG_105A Surface Water & Foul Water Sewer Schedule Calculations & Drawings CALC_DWG_Mechanical Ventilation Schedule & Drawings Hot & Cold-Water Systems & Sanitation Installations, schedule and drawings.	TbdL TbdL Designed Designed Designed Designed
		ns (each floor (sub/Ground/1st) separate elevation (walls/ floors/ roof)) at a scale of 1:100 & cross sections) at a scale of 1:100 1_Foundation details at a scale of 1:50 2_Ground floor details at a scale of 1:50 3_First & subsequent floor details at a scale of 1:50 4_External wall details at a scale of 1:50 5_Surface & foul wastewater plans & sections 6_Elevations (each elevation) at a scale of 1:100 7_Cross sections Calculations (provisional BER, where appropriate) Details relating to any SOAKAWAYS, SUDS, etc tanks/ advanced WASTEWATER TREATMENT (where necessary) Details relating to any gas/heat installation showing appliances and Flues 8_Thermal calculations 9_Site investigation 10_Inspection Plan prepared by the Assigned



Information requirements, Building Regulations - & best practice Guidance in TGDs


A



Part A - The reliability of designs carried out in accordance with the Eurocodes is based on a number of assumptions set out in I.S. EN1990: 2002. These general assumptions are as follows

- The structure will be adequately maintained, and
- The structure will be used in accordance with the design assumptions


B



Part B - Requirement B12
Sufficient information on the active fire safety systems installed for the purpose of fire safety in the building shall be provided to the building owner so that the building can be operated in order to protect the health and safety of the building occupants.

Section 1.3.6.3 (c) TGD 2017 It should be possible to reach all smoke and heat alarms... Instructions on maintenance requirements should be provided with all smoke alarm systems.

F



Part F

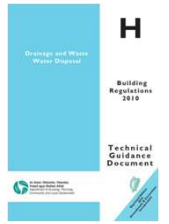
1.2.2.12 The owner of the building should be provided...Guidance on the operation of controls and how a fault is indicated, location of fault alarms and their meaning should also be included.

1.2.3.14 ...sufficient information about the Mechanical Ventilation with Heat Recovery...& **1.2.4.17** ...sufficient information about the ventilation strategy...

1.3.1.14 Reasonable provision for access for maintenance in ventilation systems should be provided,...

1.3.1.18 The owner of the building should be provided with sufficient information about the ventilation systems and their maintenance so that an effective and an efficient ventilation system can be operated and maintained

H



Part H - TDG H
H(2) Information on the wastewater treatment system and any continuing maintenance required to health and the environment shall be provided to the owner.

2.2.4 Access / inspection covers should be visible, watertight and flush with ground level. **This distribution device requires on-going maintenance.**

2.3.3 Land drainage pipes should not be used in a percolation trench. **Access / inspection pipes should be fitted to the end of the percolation pipes to facilitate the assessment of the proper functioning of the percolation area and to facilitate rodding or scouring of the pipes.**

J



Part J - Requirement J4(a)
Where a hearth, fireplace, flue or chimney is provided or extended, a durable notice containing information on the type of heat producing appliance which can be safely served by the hearth, fireplace, flue or chimney shall be affixed in a suitable place in the building.

Requirement J4(b)
Information on the system installed and any continuing maintenance required, to ensure its safe and effective operation and avoid risk to health, shall be provided to the owner.

1.5.1 Carbon monoxide: To ensure proper combustion and removal of the products of combustion a heat producing appliance should be correctly installed and regularly serviced

L



Part L - Requirement Regulation 8
For new dwellings, the nearly zero energy performance requirements of this regulation shall be met by: (f) providing to the dwelling owner sufficient information about the building, the fixed building services, controls and their maintenance requirements so that the building can be operated in such a manner as to use no more fuel and energy than is reasonable

TGD L:

1.4.6.2 Ducting Infrastructure:... (e) ducting infrastructure and associated electrical equipment, etc. should be adequately designed for maintenance access,

1.6.1 The owner of the building should be provided with sufficient information ... so that the building can be operated in such a manner as to use no more fuel and energy than is reasonable in the circumstances.



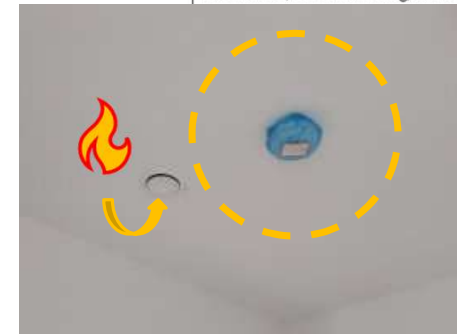
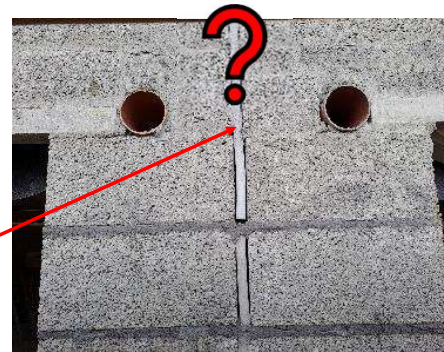
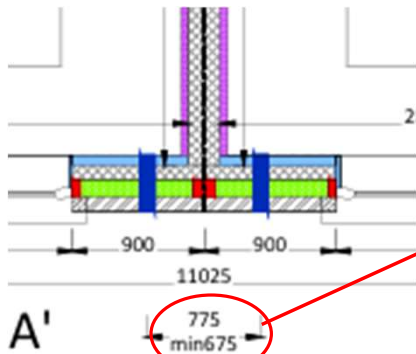
• OUTLINE COMPLIANCE



UNDERSTAND REQUIREMENT & DESIGN FOR COMPLIANCE

OUTLINE MEANS OF COMPLIANCE

INSPECT FOR COMPLIANCE



Fire detection and alarm systems - System planning, design, installation, commissioning, servicing, and maintenance



Irish Standard
I.S. 3218:2024
Version 4.00

16.04.2026



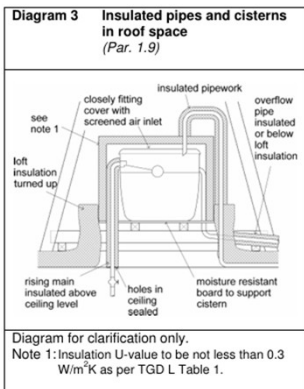
NBC & MSO



• OUTLINE COMPLIANCE



Condensation in Roofs
F2 Adequate provision shall be made to prevent excessive condensation in a roof or in a roof void above an insulated ceiling.



PART B ?

PART C ?

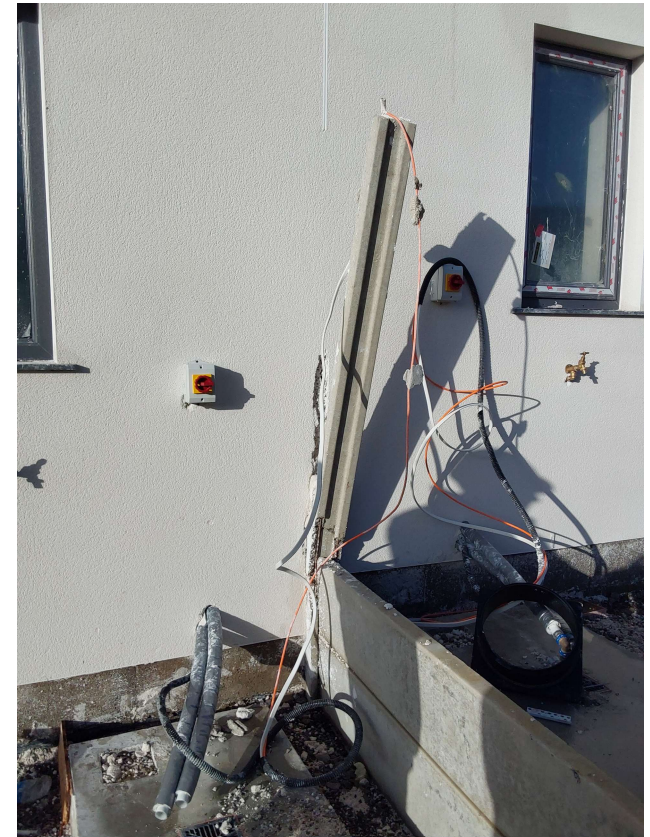
PART F ?

PART L ?



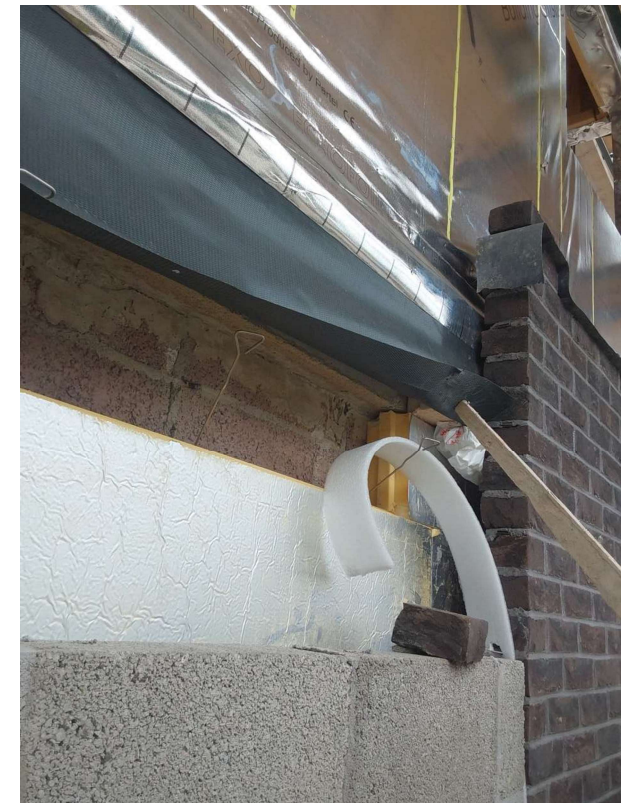
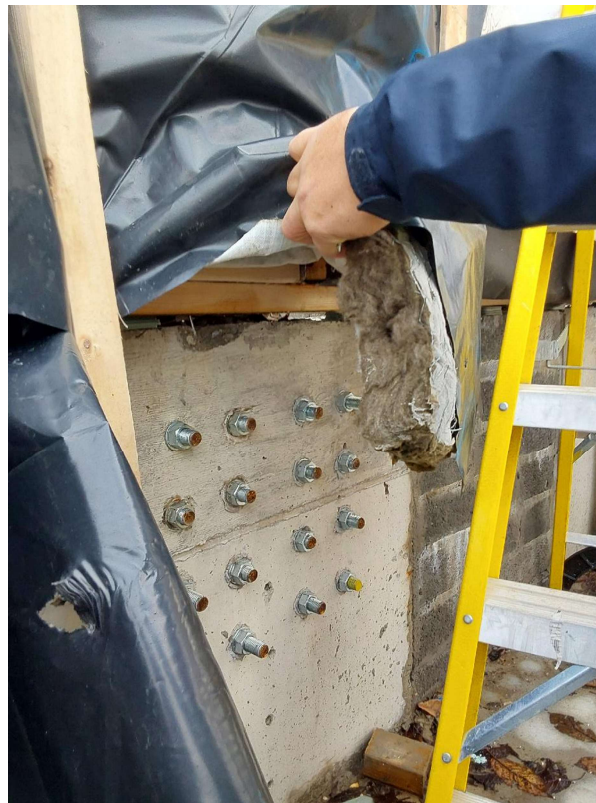


CHALLENGES ON SITE





CHALLENGES ON SITE





• PROPER MATERIALS

Diagram 13 WT 3 - Cavity masonry wall with plaster finish - Flanking requirements for an external (flanking) wall (Par. 3.5.3)

(i) Tied junction
Vertical spacing of ties not greater than 300 mm c/c

(ii) Bonded junction

Flanking wall requirem
The flanking wall should be of construction and should have 120 kg/m² excluding any finish.

The flanking wall (either a solid leaf of a cavity wall) should be separated from the main wall using one of the following methods:
(i) butted to it and secured with ties (or similar) spaced at no more than 300 mm c/c; or
(ii) bonded to the main wall such that the separating wall is at least 75 mm (min) from the junction.

Where the external wall is
a) the outer leaf may be of a different construction to the inner leaf;
b) the cavity should be stopped closer to minimise sound transmission;
c) the cavity stop should be made of a material that will not allow moisture transfer across the cavity;
d) if the cavity is fully filled with expanded polystyrene, the manufacturer's advice for use should be followed;
e) the external cavity width should be at least 75 mm (min).

NOTE: If a cavity in an external wall is filled with an insulating material, care should be taken that the material does not enter the cavity in the separating wall.

Key Points to Watch

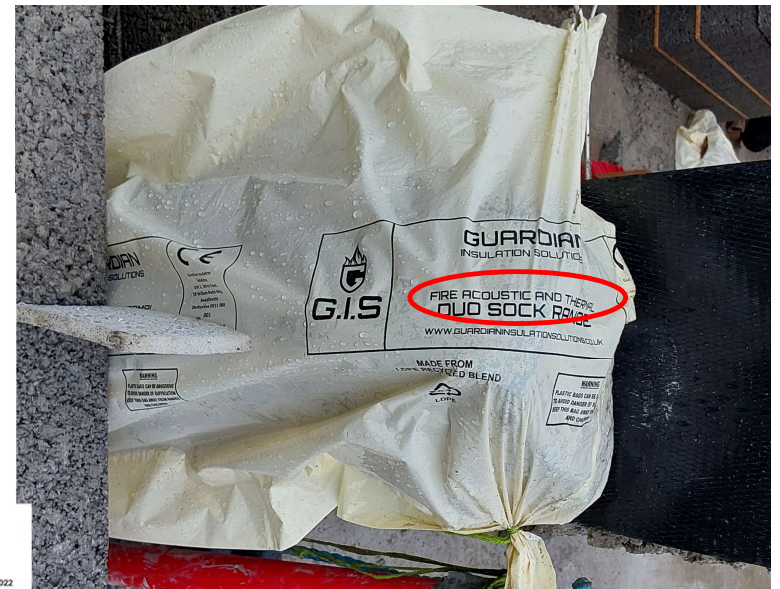
- Fill all the joints between the leaves of the construction (to achieve airtightness), including those behind plasterboard dry-linings.
- **DO NOT** use deep sockets and chases in separating walls.
- **DO NOT** place sockets back to back on opposite sides of separating walls.

NOTES:
1. Thermal insulation omitted for clarity.
2. Cavity stops are specified for the purposes of minimising flanking sound transmission along the cavity. A cavity stop may also be required to act as a cavity barrier for the purposes of compliance with Part B - Fire Safety, see TGD B.



D Building Regulations 2013
B Building Regulations 2017
E Building Regulations 2014
Technical Guidance Document L 2022
Conservation of Fuel and Energy - Dwellings

Materials and Workmanship
Fire Safety Volume 2 Dwellings Houses
Sound
Technical Guidance Document L 2022



Prima facie

16.04.2026



[Nat-Retrofit-Res-Plan-2026.pdf](#)

EXISTING BUILDINGS - ARTICLE 11, 12 & 13

L6 Energy performance of buildings requirements as set out in the European Union (Energy Performance of Buildings) Regulations 2019. The European Union (Energy Performance of Buildings) Regulations 2019 ([S.I. No. 183 of 2019](#))

Regulation 7
When a dwelling undergoes major renovation, the minimum energy performance requirement of the dwelling or the renovated part thereof is upgraded in order to meet the cost optimal level of energy performance in so far as this is technically, functionally and economically feasible.



Regulation 5
(b) Where a heat generator is being replaced in an existing building, where technically and economically feasible, self-regulating devices shall also be installed.

[\(S.I. No. 393 of 2021\)](#)



Press release

Minister Browne announces grants to convert vacant buildings and above shop spaces into new homes

From: [Department of Housing, Local Government and Heritage](#)

Published on: 1 April 2026

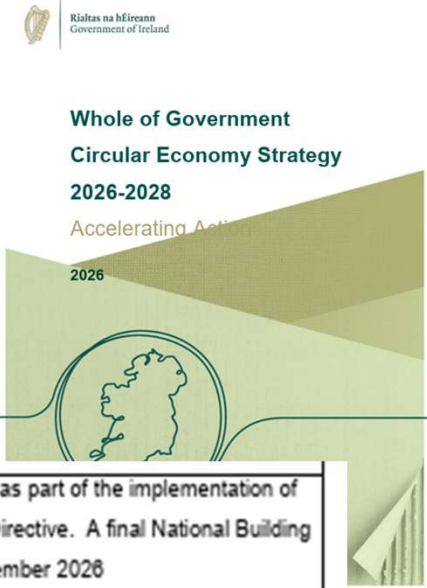
Last updated on: 1 April 2026

Expansion of scheme will facilitate conversion of vacant commercial buildings and above shop vacant spaces into much needed homes

First time in the history of the State that this type of grant will be given to end vacancy above shops



National Residential Retrofit Plan 2026



A9	Develop a National Building Renovation Plan as part of the implementation of the recast Energy Performance of Buildings Directive. A final National Building Renovation Plan will be submitted by 31 December 2026
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16.04.2026





‘This has financially ruined us’ – couple claim they have to demolish €141,000 home extension following dispute with builder

- Builder, who previously featured on RTÉ’s ‘Room to Improve’, claims they ‘are not responsible for the defects’ and questions findings of engineer’s report



REGULATORY OVERSIGHT

BUILDING CONTROL REGULATIONS

7. (1) Subject to *sub-article (2)* and *articles 3* and *6*, this Part applies to—

- (a) the erection of a building,
- (b) the material alteration or extension of a building, and
- (c) a material change of use of a building, to which the Building Regulations apply.

(2) (a) Subject to *paragraph (b)*, **this Part shall not apply** to works or a building as regards which a material change of use takes place, where—

- (i) the works are or the material change of use is **exempted development for the purposes of the Local Government (Planning and Development) Acts, 1963 to 1993), and**
 - (ii) Part III, or Part III of the Building Control Regulations, 1991 and 1994, do not apply to the works or building.
- (b) This Part applies to works in connection with the material alteration (excluding a material alteration consisting solely of minor works) of a shop, office or industrial building to which Part III, or Part III of the Building Control Regulations, 1991 and 1994, do not apply.

Owner Role **

Ms. Jennifer Mills

Builder Role **

Ms. Jennifer Mills

Designer Role **

Ms. Jennifer Mills

+ Assigned Certifier Role

support@nbco.gov.ie

New Commencement Notice with Opt Out Declaration

Use the tabs below to create and/or view your Notices and/or Certificates.

Please note

Homeowners should weigh up carefully the implications of a decision to opt out of the statutory certification process. The Opt Out Declaration relates to the Assigned Certifier process only. All works to which this validated Commencement Notice relates, must still comply with the Building Regulations (as amended).

All works to which this validated Commencement Notice relates, must still comply with the Building Regulations

Note - Before you choose this option, you must be confident that adequate resources are provided so that the design and construction is successfully achieved in a manner which meets the requirements of the Second Schedule to the Building Regulations at a minimum. You must read and understand the **Information Note for Owners of new dwellings and extensions who opt out of Statutory Certification for building control purposes at Building Control Regulations.**

I have read the information note



- EXISTING BUILDINGS Extensions

S.I. No. 497/1997 - Building Regulations, 1997.

9. (1) Every works or building to which these Regulations apply shall be designed and constructed—

(a) in accordance with the appropriate requirements set out in the Second Schedule, &

(b) in such a manner as to avoid the breaching of any other requirement of that Schedule.

(2) No works shall be carried out to a building which would cause a new or greater contravention in the building of any provision of these Regulations.

11 - Alterations and extensions

Regulations apply to material alteration or extension of a building -

only to the extent of prohibiting any works which would cause a new or greater contravention, in such building, of any provision of these Regulations

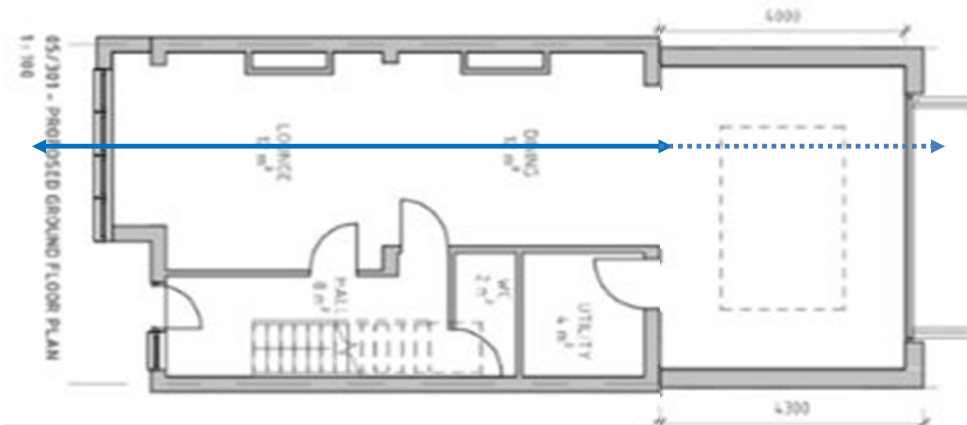
C4 The floors, walls and roof of a building shall be so **designed and constructed** as to prevent the passage of moisture to the inside of the building or damage to the fabric of the building.



Building Regulations
Technical Guidance Document C
Site Preparation and Resistance to Moisture

Amended 2023

Prepared by the Department of Housing, Local Government and Heritage



16.04.2026



Construction Contractors' Management Association



EXISTING BUILDINGS – Extensions

Means of ventilation

F1 Adequate and effective means of ventilation shall be provided for people in buildings. This shall be achieved by:

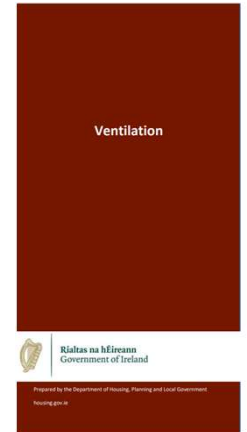
- (a) limiting the moisture content of the air within the building so that it does not contribute to condensation and mould growth, and
- (b) limiting the concentration of harmful pollutants in the air within the building



Guidance

Ventilation of Habitable Rooms through other rooms and spaces

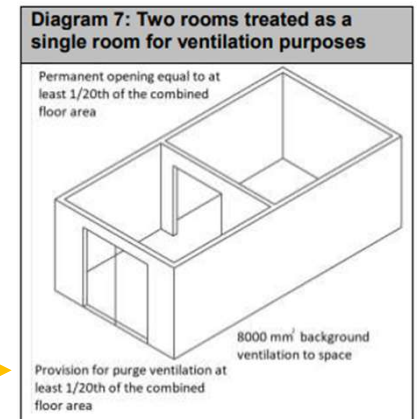
1.2.4.13 Two habitable rooms may be treated as a single room for ventilation purposes if there is an area of permanent opening between them equal to at least 1/20th of the combined floor areas (see Diagram 7) and a wall or window ventilator having an equivalent area not less than 8,000 mm² and located so as to avoid undue drafts.



F

Building Regulations 2019

Technical Guidance Document





• EXISTING BUILDINGS – MATERIAL ALTERATION

Loading

A1 (1) A building shall be designed and constructed, with due regard to the theory and practice of structural engineering, so as to ensure that the combined actions that are liable to act on it are sustained and transmitted to the ground

- (a) safely, and
 - (b) without causing such deflection or deformation of any part of the building, or such movement of the ground, as will impair the stability of any part of another building.
- (2) In assessing whether a building complies with sub-paragraph (1), regard shall be had to the variable actions to which it is likely to be subjected in the ordinary course of its use for the purpose for which it is intended

Recovering of existing roof structures and structural safety of external wall cladding

Recovering of existing roof structures

1.3.1 Where new roof coverings would impose higher loads on the roof structure or where the new material would be lighter than the original material, strengthening measures may be required. The following procedure is recommended:

- (a) arrange for a thorough structural survey of the existing roof structure and the vertical restraints;

- (b) check the dry mass per unit area of the proposed roof covering and compare it with that of the existing roof covering;
- (c) make allowance for the increase in load due to water absorption, e.g. 0.3% for oven dry slates and up to 10.5% for clay plain tiles and concrete tiles;
- (d) check if the roof structure is capable of sustaining the increased load or if the vertical restraints provided for the roof structure are adequate for the wind uplift (the nett uplift may increase due to the use of lighter roofing material and/or provision of new underlay);
- (e) provide appropriate strengthening measures such as:

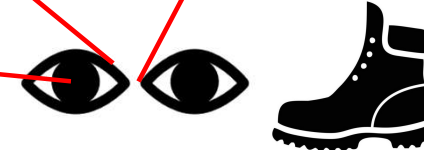
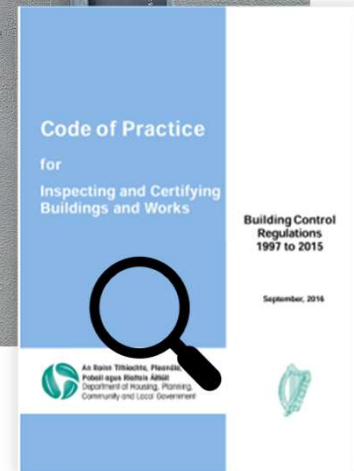
- (i) replacement of defective members and vertical restraints;
- (ii) additional structural members such as trusses, rafters, bracings, purlins, etc. which are required to sustain increased loading; restraining straps,
- (iii) additional ties and fixings to the walls to resist wind uplift



16.04.2026



• INSPECTIONS FOR COMPLIANCE



16.04.2026



• DEMONSTRATE COMPLIANCE

20F. (1) Subject to *paragraph (2)*, a Certificate of Compliance on Completion shall be submitted to a building control authority and relevant particulars thereof shall be included on the register maintained under *Part IV* before works or a building to which *Part II* or *Part IIIA* applies may be opened, occupied or used.

(4) On receipt of a Certificate of Compliance on Completion, a building control authority shall—
(a) record the date of receipt of the Certificate, and
(b) consider within 21 days of the date of its receipt whether the Certificate of Compliance on Completion is valid having regard to—
(i) **the requirements of paragraph (3)** above, and
(ii) **the building control authority's own satisfaction** that all enforcement notices, **information requests** and statutory processes, including any applications for certificates under *Part III*, *Part IIIA* or *Part IIIB*, relevant to the building concerned have been satisfactorily concluded.

Building Control Acts 1990-2025 Section 11 Compliance Request	
Part F Ventilation (Note also Technical Guidance Document F Ventilation (2019))	
The Requirements	
<p>F1 Means of ventilation (Section 1)</p> <p>Adequate and effective means of ventilation shall be provided for people in buildings. This shall be achieved by:</p> <p>(a) limiting the moisture content of the air within the building so that it does not contribute to condensation and mould</p> <p>(b) Limiting the concentration of harmful pollutants in the air within the building.</p>	<p>Submit such plans, calculations, documents, and information to show that the requirement of F1 Means of ventilation are being complied with in relation to your building. (In relation to the following:)</p> <p>(a) ventilation system (b) testing</p> <p>Note: 1.2.4 Natural Ventilation 1.2.4.1 Where the air permeability is greater than 3m³/(h.m²) and lower than 5m³/(h.m²), the minimum total equivalent area of background ventilators providing general ventilation should be 42,000mm² with an additional 7,000mm² for each additional 10 m² floor area above the first 70m² of floor area measured. For single storey dwellings situated at ground level or on any storey up to four storeys, an additional 7,000 mm² per dwelling should be provided. As noted in Paragraph 1.1.15, the areas specified should be increased by 25% where free area of ventilators is used instead of equivalent area. Example calculations are provided in Appendix 1. Where the intended design is greater than 3 m³/h.m² and the actual construction achieves a lower value, then appropriate additional measures should be implemented to ensure adequate ventilation</p>
<p>F2 Condensation in roofs (Section 2)</p> <p>Adequate provision shall be made to prevent excessive condensation in a roof or in a roof void above an insulated ceiling.</p>	



S11 Request





DISPENSATIONS & RELAXATIONS

Building Control Act 1990-2025

Dispensation or relaxation of building regulations.

4.— (1) Subject to the provisions of this section, a building control authority may, if it considers it reasonable **having regard to all the circumstances of the case**, grant a **dispensation from, or a relaxation of**, any requirement of building regulations in respect of buildings or works which are situated within the functional area of the building control authority and—

(5) A building control authority may make a dispensation from, or a relaxation of, any requirement of building regulations granted pursuant to subsection (1) **subject to such conditions (if any) as it sees fit.**

DECEMBER 2026

SUN	MON	TUE	WED	THU	FRI	SAT
29	30	1	2	3	4	5
6	7	8	9	10	11	12
13	14	15	16	17	18	19
20	21	22	23	24	25	26
27	28	29	30	31	1	2

www.GrabCalendar.com

Building Control Regulations

6 (“certificates of compliance”) being **certificates** relating to compliance with the building regulations (subject to any relevant **dispensation or relaxation already granted**)

Building Regulations

“**dispensation or relaxation**” means a dispensation or a relaxation, under section 4 of the Act, from or of, as the case may be, any requirement of regulations made under section 3 of the Act;

A Certificate of Compliance on completion **certifies** (certified by builder and assigned certifier) that the **works or a building as constructed “is in compliance with the requirements to the second schedule of the building regulations in so far as they relate to the works concerned”** i.e. the building or works is ready for, can be opened, occupied and can safely and effectively be used for the purpose it was intended for



National Building Control & Market Surveillance Office

NBCMSO Inspections Update

www.nbco.nbco.localgov.ie

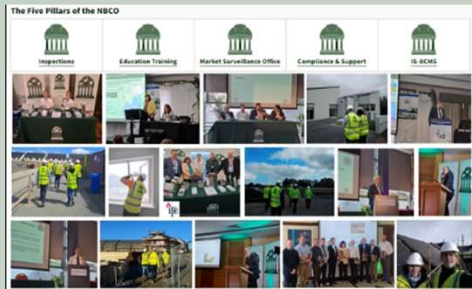


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National Building Control Office

Promoting a Culture of Compliance with the Building Control and Building Regulations in an industry marked by rapid changes in technology and processes.

Learn more about the NBCO



The Five Pillars of the NBCO



Frequently Asked Questions

FAQ 15 What are the requirements of the European Union (in - Building Physical infrastructure for High - Speed Electronic Communications) Regulations 2023



About Us Legislation & Regulations Market Surveillance Product Alerts Contact Points FAQs Resources Search

About the National Market Surveillance Office

About Us

Market Surveillance of construction products in Ireland is lead by the National Building Control and Market Surveillance Office (NBC&MSO) as prescribed under S.I. No. 682 of 2020, who have a team of authorised officers dedicated to carrying out reactive and proactive market surveillance on a nationwide basis. The National Building Control and Market Surveillance Office leads and coordinates the National Market Surveillance Strategy in conjunction with the 31 Building Control / Market Surveillance Authorities (MSAs) for Market Surveillance of Construction Products, with the aim of strengthening the oversight and enforcement of the existing construction products regime and establish a systematic approach to ensure effectiveness of market surveillance and enforcement activities.

Main Role of National Market Surveillance Office in Relation to Market Surveillance of Construction Products Under the Construction Product Regulations.

- Ensure that adequate resources are made available for market surveillance activities.
- Ensure the appointment of competent authorised officers by Dublin City Council and that staff appointed as authorised officers:
 - are appropriately experienced and trained to undertake inspections and investigations, and have received suitable legal training, as they may be required to testify in court in circumstances where legal proceedings are taken against an economic operator.
 - adhere to the Guidelines for Market Surveillance Authorities published by the County and City Management Association to assist MSAs in carrying out their functions under the CPR.
 - adhere to the Good Practice for Market Surveillance Authorities published by the European Commission (January 2017) in so far as it is relevant to the CPR.
 - adhere to relevant Circular Letters issued by the Department of Housing, Local Government and Heritage.
- Leading, rolling out & coordinating the National Market Surveillance Strategy in conjunction with local authority MSAs, National Competent Authorities and other technical expertise, when necessary.
- Investigate cases and follow up, as appropriate, with economic operators to ensure that any legislative non-compliance are identified, and non-compliant economic operators are appropriately dealt with (up to and include enforcement action).



www.nmso.nbco.localgov.ie



NBC & MSO



• TAKEAWAYS

- REQUIREMENTS OF REGULATIONS ARE FUNDAMENTAL
- ALL DESIGN & CONSTRUCTION METHODS MUST HAVE ACHIEVEMENT OF THE REQUIREMENTS TO THE FORE
- NEED TO CONTINUE TO QUESTION & UNDERSTAND NEW APPROACHES
- NEED TO ASSESS & ADAPT WORK PRACTICES ACCORDINGLY





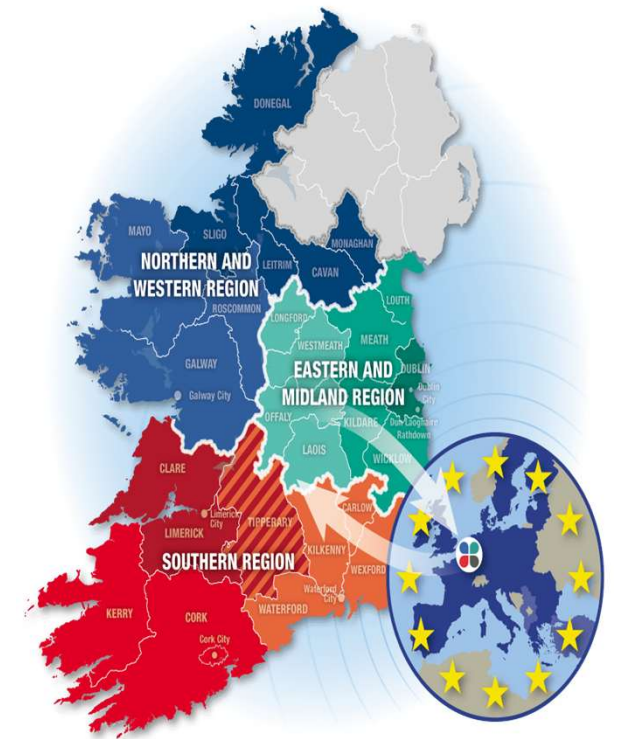
National Building Control & Market Surveillance Office

NBCMSO Inspections Update



An Oifig Náisiúnta um Rialú Foirgníochta
NATIONAL BUILDING CONTROL OFFICE

*GO RAIBH
MAITH AGAIBH*





An Oifig Náisiúnta um Rialú Foirgníochta agus Faireachas Margaidh
NATIONAL BUILDING CONTROL AND MARKET SURVEILLANCE OFFICE



An Oifig Náisiúnta um Rialú Foirgníochta
NATIONAL BUILDING CONTROL OFFICE

Our goal is to promote Compliance with the Building Regulations through onsite INSPECTIONS.