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23/09/2025



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Phased Completion of building or works to comply with [Articles 20F](#)

- Building Control Regulations
- Code of Practice for Inspecting and Certifying Building and Works (the Code of Practice)
- Phased Certificates of Compliance on Completion
- Phased CCC (Building Control Regulations) v partial completion (Building Contracts)
- Pre-Notification of CCC
- Shell and Core (Part L buildings other than dwellings)
- Compliance with Building Regulations (A-M) for building/works and/or part of a Building/works that form part of a Phased CCC
- Building Control Authorities - Validation

Certificate of Compliance on Completion

Building Control Regulations 20F (1)

20F (1) Subject to paragraph (2) , a Certificate of Compliance on Completion shall be submitted to a building control authority and relevant particulars thereof shall be included on **the register maintained under Part IV** before works or a building to which **Part II** or **Part IIIA** applies may be opened, occupied or used.

Phased Completions

Building Control Regulations 20F (9)

20F (9) A Certificate of Compliance on Completion may refer to **works, buildings, including areas within a building, or developments, including phases thereof**, and relevant details **shall be clearly identified** on the Certificate of Compliance on Completion itself and, subject to validation in line with the requirements at paragraphs (3) and (4) , on the register

Building Control Regulations 20F (3) & (4)

- (3) A Certificate of Compliance on Completion shall be —
- (a) in the form specified for that purpose in the *Sixth Schedule* , and
 - (b) accompanied by such **plans, calculations, specifications and particulars** as are necessary to outline how the works or building as completed —
 - (i) **differs from the plans, calculations, specifications and particulars** submitted for the purposes of *Article 9(1)(b)(i)* or *Article 20A(2)(a)(ii)* as appropriate (to be listed and included at the **Annex to the Certificate of Compliance on Completion**), and
 - (ii) **complies with the requirements of the Second Schedule to the Building Regulations**, and
 - (c) accompanied by the **Inspection Plan** as implemented by the Assigned Certifier in accordance with the Code of Practice referred to under *Article 20G(1)* or a suitable equivalent.
- (4) On receipt of a Certificate of Compliance on Completion, a building control authority shall —
- (a) record the date of receipt of the Certificate, and
 - (b) consider within 21 days of the date of its receipt whether the Certificate of Compliance on Completion is valid having regard to —
 - (i) the requirements of *paragraph (3)* above, and
 - (ii) the building control authority ' s own satisfaction that all enforcement notices, information requests and statutory processes, including **any applications for certificates under Part III, Part IIIA or Part IIIB** , relevant to the building concerned have been satisfactorily concluded.

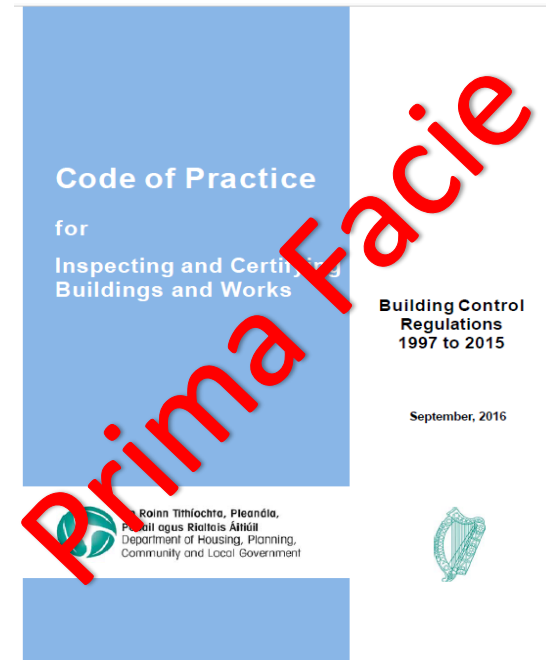
Code of Practice for Inspecting and Certifying Buildings and Works

Building Control Regulations 20G

20G (1) *The Minister may from time to time publish a document with the title of the **Code of Practice for Inspecting and Certifying Buildings and Works** for the purposes of providing guidance with respect to inspecting and certifying a building or works for compliance with the requirements of the Second Schedule to the Building Regulations.*

(2) *Where a building or works to which these Regulations apply is **inspected and certified in accordance with the guidance contained in the Code of Practice** for Inspecting and Certifying Buildings and Works this shall, **prima facie**, indicate compliance with the relevant requirements of these Regulations.*

(3) *The provisions of any guidance contained in the Code of Practice for Inspecting and Certifying Buildings and Works concerning the use of a particular inspection framework or approach **shall not be construed as prohibiting the use of other suitable frameworks or approaches***



Roles and Duties for the Code of Practice

“Assigned Certifier” means the competent, registered professional person assigned by the Building Owner to inspect and certify works in accordance with the Building Control Regulations;

“Builder” means a competent builder assigned by the Building Owner, to build and supervise the works in accordance with the Building Control Regulations;

“Design Certifier” means the competent, registered professional person:
who has been commissioned by the Building Owner to design, in conjunction with others, the building or works described in the relevant Commencement Notice (or 7 Day Notice), and to certify such design is in compliance with the Second Schedule to the Building Regulations insofar as they apply to the building or works concerned, and who confirms that the documentation included in the schedule to the Commencement Notice (or 7 Day Notice) which has been prepared by him/ her, other members of the design team and specialist designers whose design activities he/ she has coordinated, has been prepared to demonstrate such compliance.

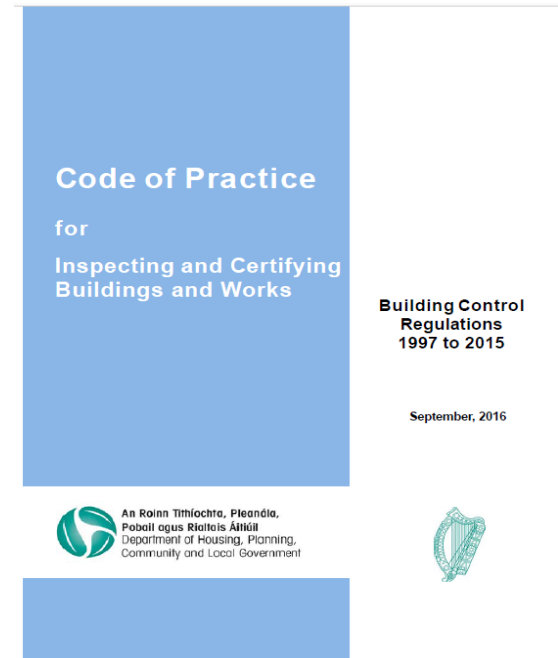
“Building Owner” means the person who has commissioned or paid for the works and who has legal entitlement to have such works carried out on their behalf, and who submits a Commencement Notice or 7 Day Notice in accordance with the Building Control Regulations;

Certificates of Compliance on Completion

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 9. Archiving of Records
 10. E-lodgements
 11. Professional Ethics
 12. Insurance
- Appendix: List of Requirements under Building Regulations

[Code of Practice for Inspecting and Certifying Works, September 2016](#)



Completion Stage

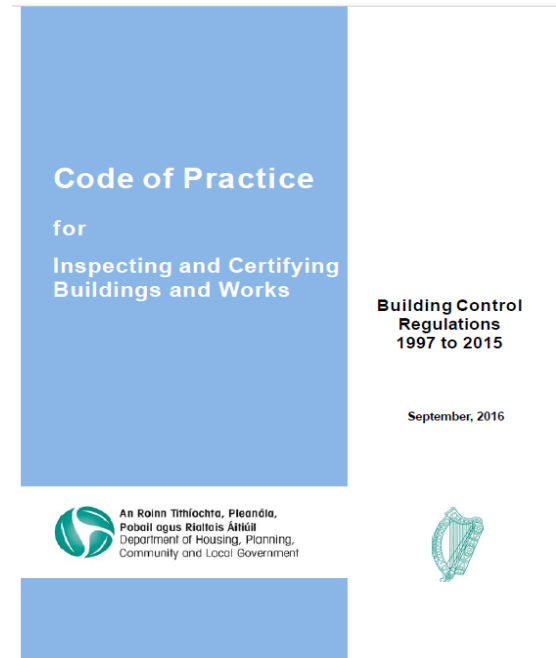
8. Completion Stage

8.1 Submission at completion

At completion stage, the Assigned Certifier is required to submit the following to the Building Control Authority:

- (a) a Certificate of Compliance on Completion signed by the Builder (at Part A) and by the Assigned Certifier (at Part B);
- (b) plans, calculations, specifications and particulars, showing how the completed building has achieved compliance with the Building Regulations must be lodged on the Building Control Management System when the Certificate of Compliance on Completion is submitted or at an earlier date. **Where design documents have changed or supersede design documents previously lodged with the Building Control Authority with the Commencement Notice or at a later date, any such difference should be clearly identified;**
- (c) the Inspection Plan as implemented by the Assigned Certifier in accordance with this Code of Practice.

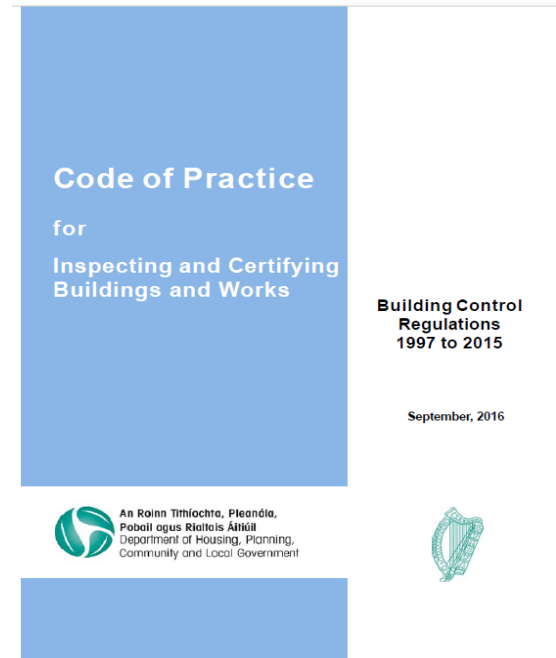
NB: The Certificate of Compliance on Completion must be validated and registered by the Building Control Authority before the building it relates to may be opened, used or occupied. If rejected by Building Control Authority within 21 days, the certificate is not valid.



Phased Completion

8.4 Phased Completion

For buildings that are completed for occupation on a phased basis for example houses or apartment blocks, it is appropriate that Certificates of Compliance on Completion for each phase may be submitted separately. In this regard, it should be noted that a Certificate of Compliance on Completion **may refer to works, buildings, including areas within a building, or developments, including phases thereof. In such circumstances, one or more certificate of compliance on completion may be referenced to a single Commencement Notice.** All Builders and Assigned Certifiers signing Certificates of Compliance on Completion **should clearly identify the precise building units or works to which it relates.** Where it is in order to do so, the Building Control Authority should accept the certificate for the particular phase and place it on the register.



Submission of CCC for Phased completion or Pre-notification

Assigned Certifier must choose the correct CN/7DN notice

Assigned Certifier must indicate if the CCC is a Pre-Notification

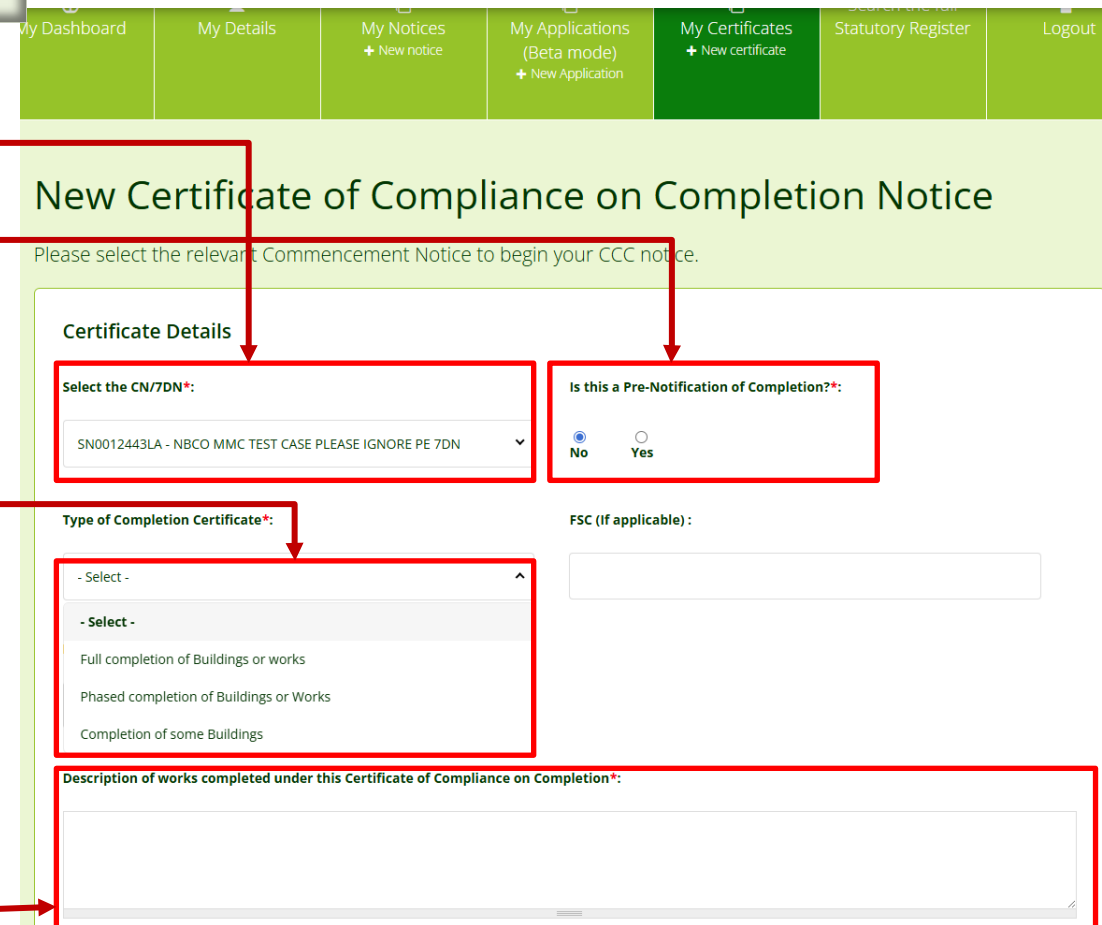
Assigned Certifier must indicate if the CCC is for:

- Full completion of Buildings or works
- Phased completion of Buildings or works
- Completion of some Buildings

Assigned Certifier must complete the “Description of Works...”

In accordance with Article 20F (9)

*A Certificate of Compliance on Completion may refer to works, buildings, including areas within a building, or developments, including phases thereof, and **relevant details shall be clearly identified...***



The screenshot shows the 'New Certificate of Compliance on Completion Notice' form. Red boxes and arrows highlight the following fields:

- Certificate Details:**
 - Select the CN/7DN*:** A dropdown menu showing 'SN0012443LA - NBCO MMC TEST CASE PLEASE IGNORE PE 7DN'.
 - Is this a Pre-Notification of Completion?***: Radio buttons for 'No' (selected) and 'Yes'.
- Type of Completion Certificate*:** A dropdown menu with options: '- Select -', '- Select -', 'Full completion of Buildings or works', 'Phased completion of Buildings or Works', and 'Completion of some Buildings'.
- Description of works completed under this Certificate of Compliance on Completion*:** A large text area for describing the works.

Example 1: Housing Development

Housing Development of 26 Houses:

Phases on Commencement Notices:

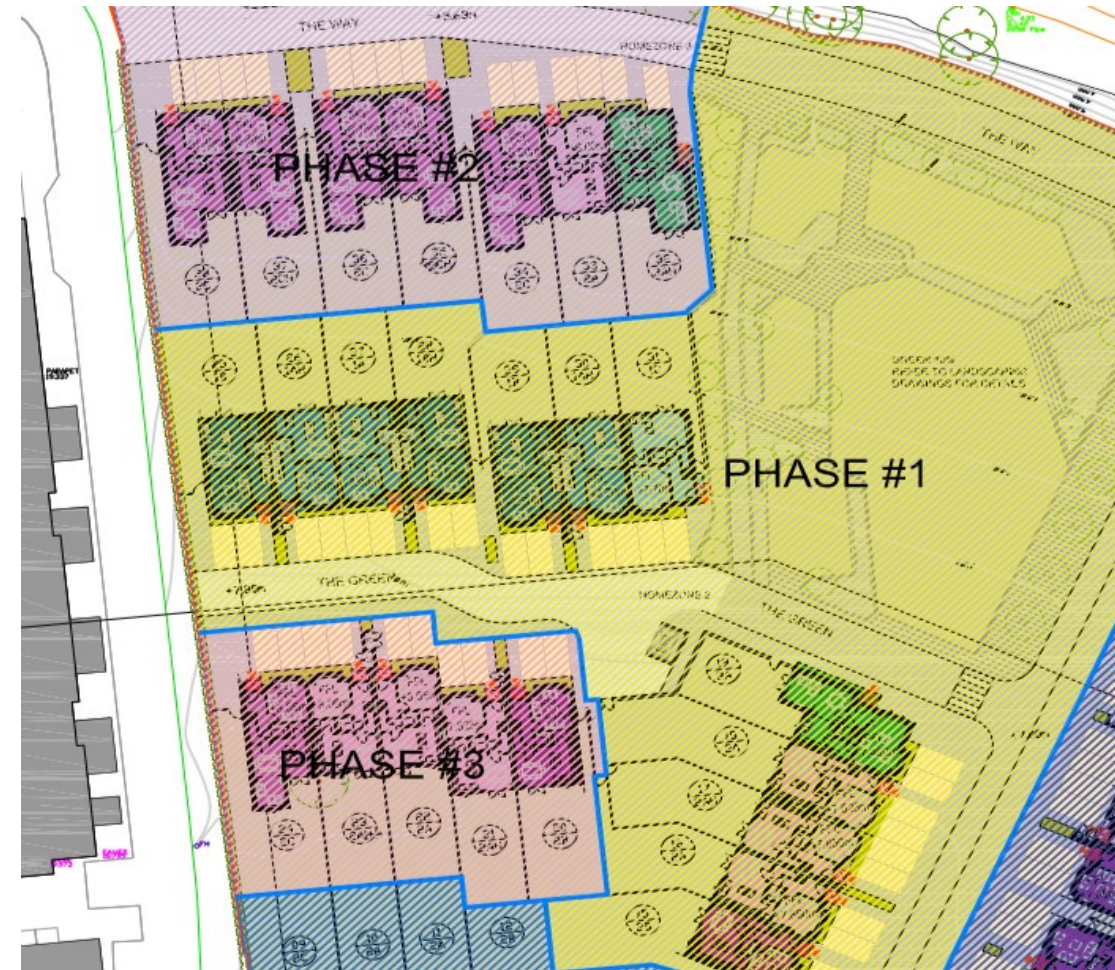
Phase 1 – 12 No. Houses

Phase 2 – 7 No. Houses

Phase 3 – 5 No. Houses

3 Individual Commencement Notices to cover each Phase.

Each House can be CCC separate or as a group of houses if completed at same time.



Example 1: Housing Development

In this example:

Phases on Commencement Notices:

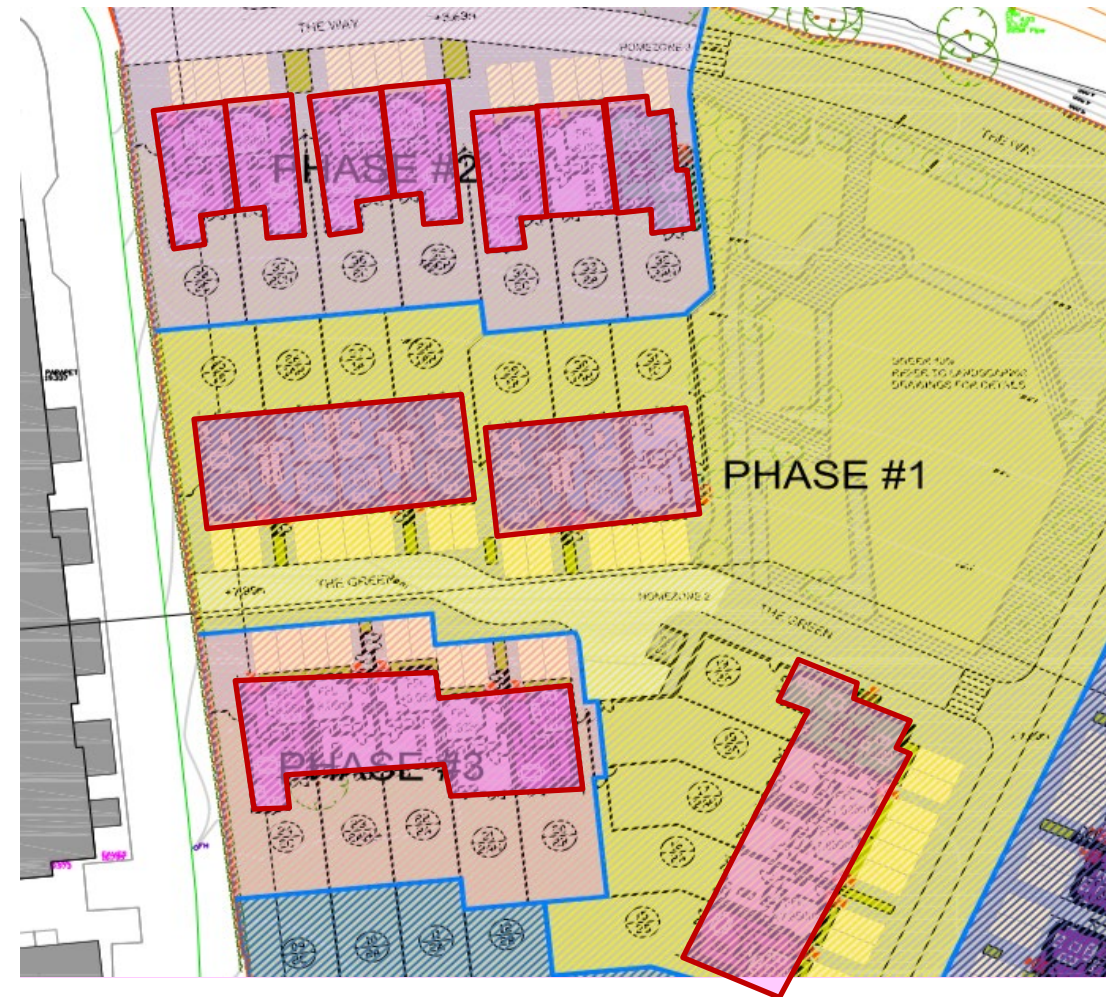
There were 3 CCCs for Phase 1 based on the 3 Terrace blocks

Each of the 7 individual house was issued a CCC for Phase 2

Phase 3 was handed over in one CCC

Note:

Semi Detached and terrace dwellings can be submitted under separate CCCs but in practice these separate CCCs should be submitted together, as they are reliant on adjoining buildings.



Example 2: Phased completion of a hotel

Hotel consisting of 40 bedrooms, Reception Lobby, a Bar and a Function Room with a granted Fire Safety Certificate (FSC) and granted Disability Access Certificate (DAC) for the whole works submitted as part of the Commencement Notice.

However, it is not possible to a do phased Completion Certificate this Commencement Notice as the FSC and DAC relate to the whole building.

SI 9 of 2014:

4 (b)

(ii) the building control authority's own satisfaction that all enforcement notices, information requests and statutory processes, including any applications for certificates under Part III, Part IIIA or Part IIIB, relevant to the building concerned have been satisfactorily concluded.

To have phased completion in this scenario there would be need to be revised FSC/DAC granted for the works that are intended to be occupied under this “phased completion”

Example 3: Phased completion of a Multistorey Office

Multistorey office building consists of entrance lobby, 7 floors of offices and 2 stair cores. The owner's intention is that they wish to have 3 lower storeys fully finished and the remainder of the building to be fitted-out by subsequent tenant.

What is the approach to allow the building to be phase completed?

Reception areas & Common areas (stairs, lifts, sanitary areas) all complete (First Phase CN)

Office floor plates completed (First Phase CN with Fire Detection System in unoccupied areas)

A subsequent tenant Fit Out is usually required to install comms rooms, offices, meeting rooms, kitchen/canteen areas etc. (Second Phase CN)

Phasing with additional CN Allow in this Scenarios – As long as the Fire Certificate application is for Shell and Core, and a separate Fire Certificate for Fit Out.

Example 2: Phased completion of a Multistorey Office

What is the approach to allow the building to be phase completed?

As it is one building there is only 1 Commencement Notice.

Either Commencement Notice with Compliance Documentation or 7 Day Notice

FSC and DAC are required for the building

In the assessment of the building what works are required to allow the occupation of the first phase of the building,

Reception areas & Common areas (stairs, lifts, sanitary areas) all complete (First Phase CN)

Office floor plates completed, allow Fit-out works under a separate Commencement Notice/s with Fire Safety Certificate/s and DAC/s (for those areas) (Second or subsequent Phase CN)

**Phasing with additional CN Allow in this Scenarios
– As long as the Fire Certificate application is for Shell and Core, and a separate Fire Certificate for Fit Out.**

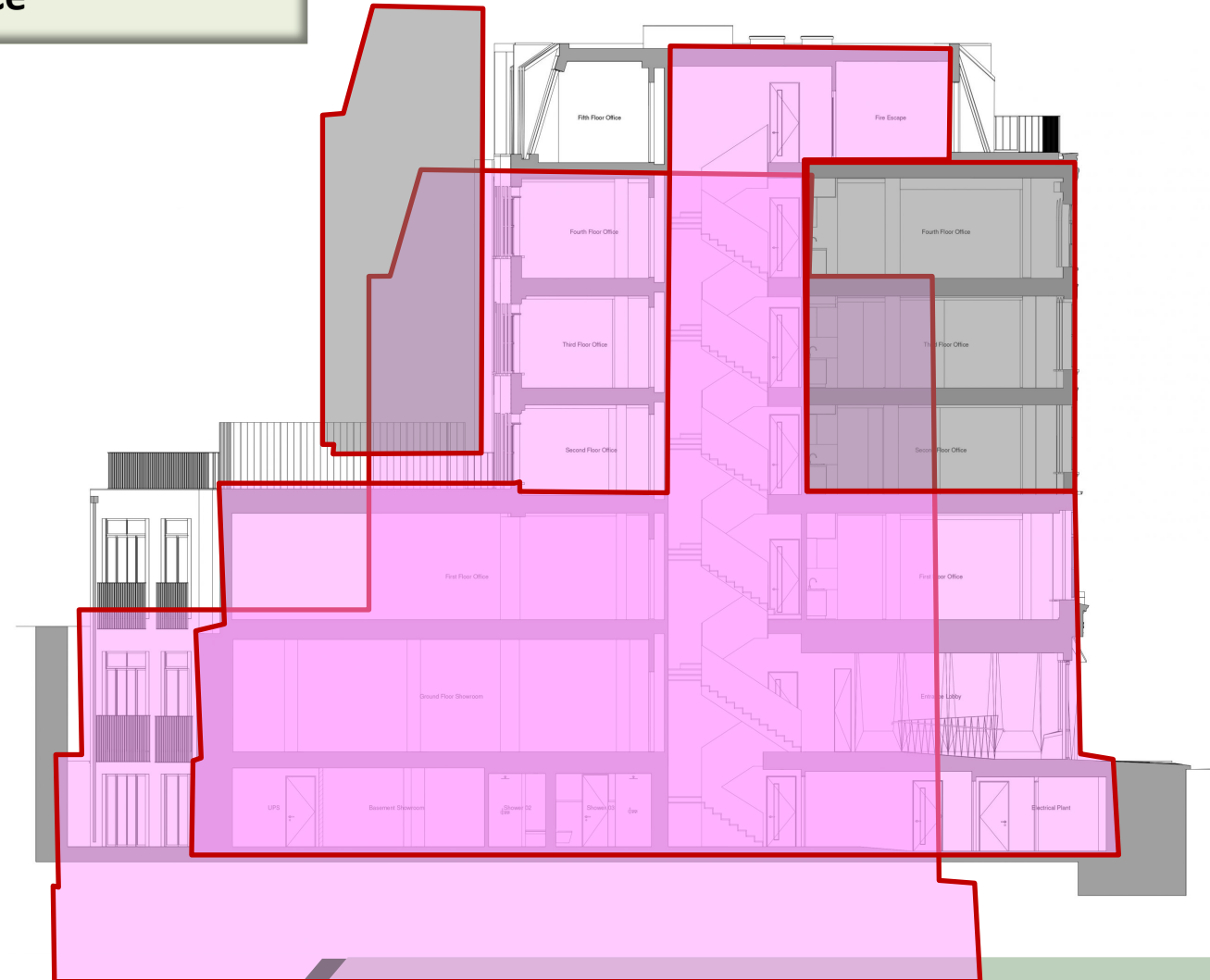
Example 3: Phased completion of a Multistorey Office

Commencement Notice for Office Blocks includes:

- Construction of the Building
- Fire Safety Cert and Disability Access Cert for full fit out of 3 Lower Storey and common staircases, lifts, lobbies, roof plant room and may include other common areas i.e. (Sanitary Facilities)
- Fire Safety Certificate includes minimal fire protection requirement for areas that will be un-occupied at CCC stage.
- Valid CCC, FSC and DAC are required to allow occupation

Subsequent Commencement Notice/s:

- Will cover the fit-out of remaining floors
- Require FSCs and DACs to cover the works
- Valid CCC, FSC and DAC are required to allow occupation



Example 4: Mixed Use (Residential/offices etc) with retail/café areas

Mixed Use (Residential/offices etc) with retail/café areas

Using residential as an example, typically the residential areas of the building are fully completed and certified, but café or retail areas (typically at ground floor) are completed as a fit out by and to suit a future operator of the café or retail area:

Typically, the café units are unfinished/unoccupied areas at completion/certification of the remainder of the building;

Typically, minimum fire detection and emergency lighting is provided within unfinished/unoccupied areas;

Sanitary facilities and other fit out items are typically completed under separate CN;

In larger units, stairs or balustrades, for example, may also be completed at a later stage as the tenant fit out would design these to suit fit out.

Phasing with additional CN Allow in this Scenarios – As long as the Fire Certificate application is for Shell and Core, and a separate Fire Certificate for Fit Out.

Example 5: Retail (Shopping Centres) New Build

Retail (Shopping Centres) New Build

Landlord areas (malls, circulation space and sanitary areas) completed by landlord and tenant areas generally all fitted out by individual tenants:

Typically, the retail units are unoccupied units/areas at completion/certification of the remainder of the building;

However, programme of works needs to be considered for fit out works relevant to landlord works and “opening day”. Larger units may need to start fit out prior to landlord works being completed, smaller units may be in progress of being fitted out at landlord completion and some units could be still vacant at landlord completion and indeed beyond opening day.

Typically, minimum fire detection and emergency lighting is provided within unoccupied units/areas, but as above this could depend on programme of the fit out works;

Typically, landlord works are completed and certified to describe the works that are completed.

Works within unoccupied retail units, are to be commenced under a separate commencement notice and completed and certified separately.

Works described in later CNs for a unit may relate to significant works e.g. lifts/travellators within large units, sanitary areas, internal access stairways, balustrades to internal stairways, floors and mezzanines. Generally, landlord FSC and DAC set out that individual FSC and DAC required for retail units

Phasing with additional CN Allow in this Scenarios – As long as the Fire Certificate application is for Shell and Core, and a separate Fire Certificate for Fit Out.

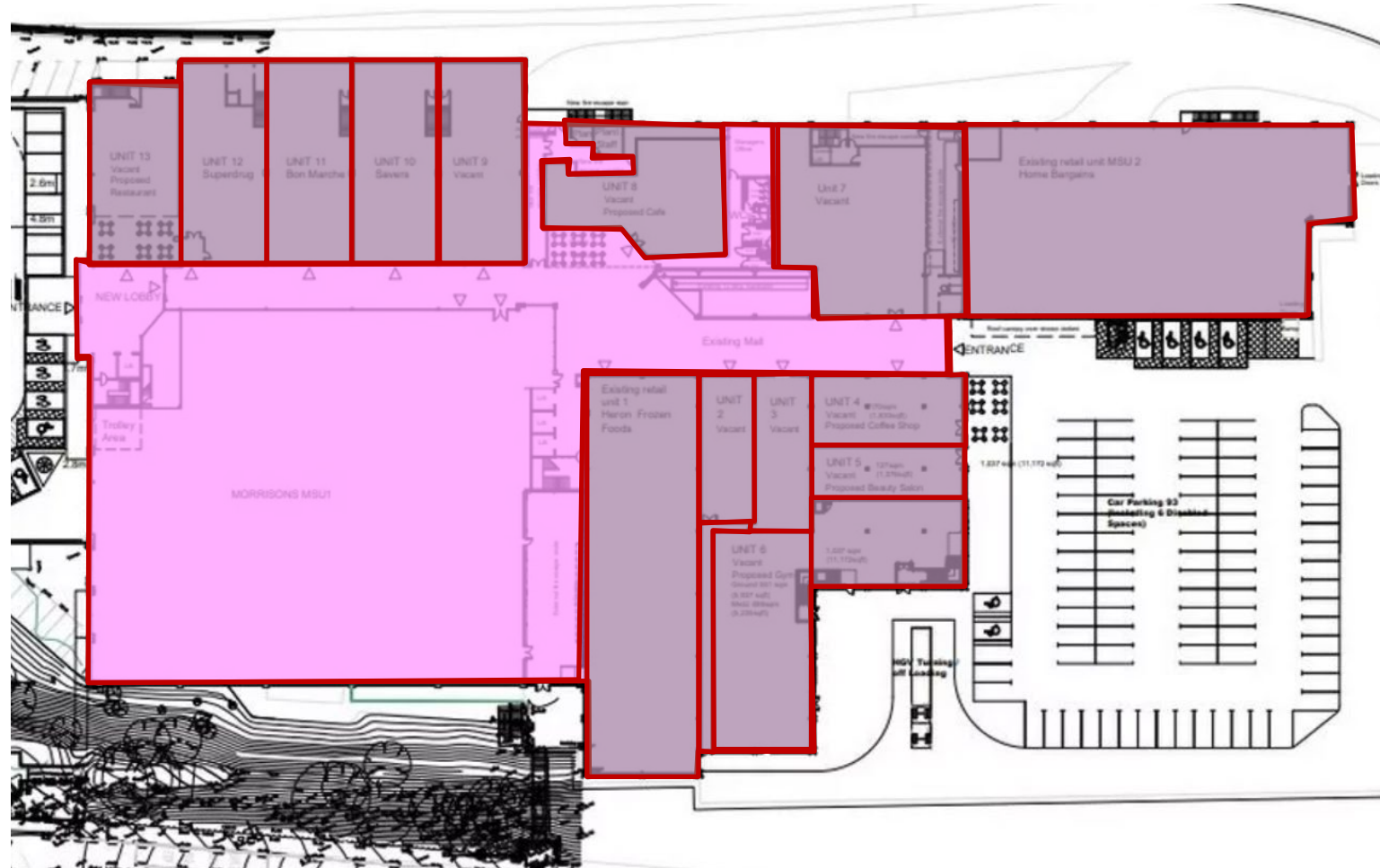
Example 5: Retail (Shopping Centres) New Build

CN for Shopping Centre includes:

- Construction of the Building
- Fire Safety Cert and Disability Access Cert for full fit out of anchor tenant, lifts, circulation areas, lobbies, plant rooms and may include other common areas i.e. Sanitary Facilities
- Fire Safety Certificate includes minimal fire protection requirement for areas that will be un-occupied at CCC stage.
- Valid CCC, FSC and DAC are required to allow occupation

Subsequent Commencement Notice/s:

- Will cover the fit-out of remaining units
- Require FSCs and DACs to cover the works
- Valid CCC, FSC and DAC are required to allow occupation



(Shell & Core) Part L

TGD Part L 2022

0.1.1.6 For shell and core buildings the specification used for **the NEAP calculation should be compatible with the intended building end use and servicing strategy**. The renewables required should be installed at an early stage in the construction process to ensure **that the building will meet the renewables provision for the whole building when completed and prior to occupation of any part of the building**. Where practical, renewable systems should be installed on the shell and core building with the utility connections or with the primary heating and cooling services for the building.

0.1.1.7 Where a shell has a fit out completed on all or part of the building through the provision or extension of any of the fixed services for heating, hot water, air conditioning or mechanical ventilation then the Maximum Permitted Energy Performance Coefficient (MPEPC), Maximum Permitted Carbon Performance Coefficient (MPCPC) and Renewable Energy Ratio (RER) **should be based on the building shell as constructed and the fixed building services as actually installed**.



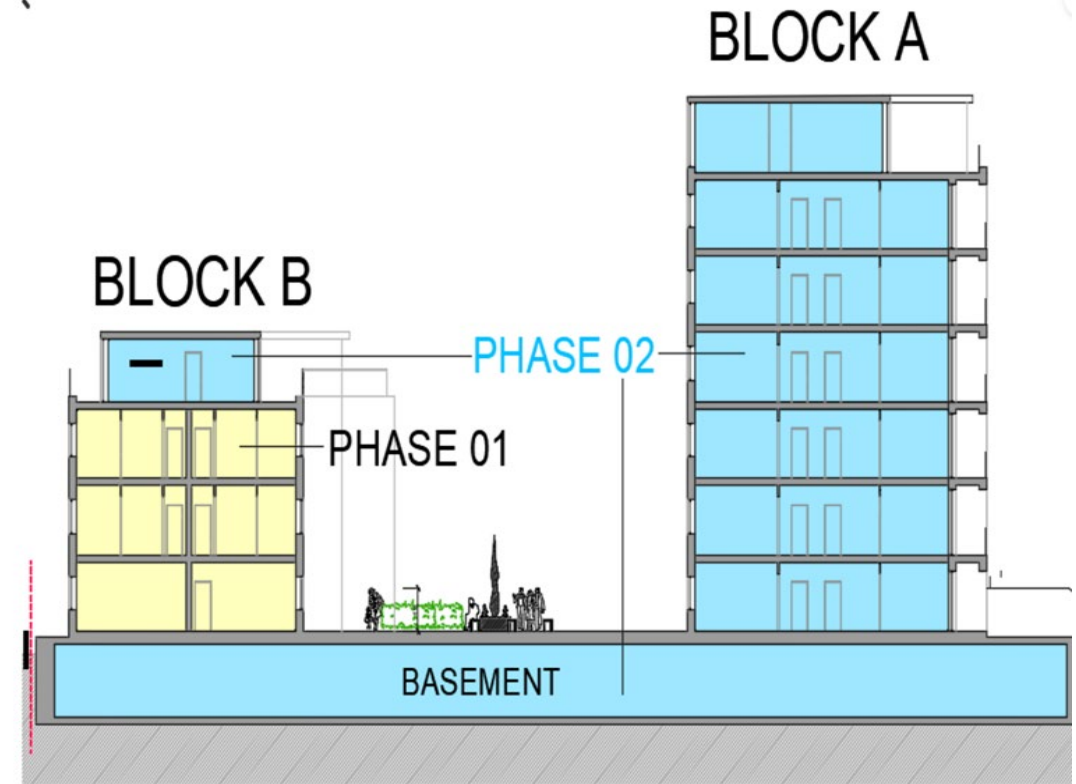
Building Regulations
Technical Guidance Document L 2022

Conservation of Fuel and Energy –
Buildings other than Dwellings

Prepared by the Department of Housing, Local Government and Heritage
gov.ie/housing

What considerations should be given to phased completions?

- Phasing should be considered at commencement.
- When signing a CCC the AC and the builder are confirming that the buildings or part of the building is/are in compliance with Building Regulation Parts A to M
- Phases should not rely on other building or parts of building that have not been issued a CCC.
- If phasing strategy changes it may require changes to FSC and/or DAC
- Consult with your local Building Control Authority



Phased Completions versus Partial Completion

| Phased Completion (Building Control Regulations) ✓ | Partial Completion (Contractual Term) ✗ |
|--|---|
| Allows for certification of individual phases of a development (e.g. blocks, units, or areas of a building or works). | A contractual concept, not regulated by BCAR |
| Requires a separate Commencement Notice and Completion Certificate for each phase. | Refers to when part of the works is handed over before overall project completion |
| Should be planned in advance | May allow the owner to take possession of part of the works early and transfer of insurances. |
| Each phase must fully comply with building regulations independently. | Does not automatically trigger BCAR completion requirements unless tied to phased certification |
| Designed to facilitate large or multi-stage projects. | Terms are defined within the construction contract |
| Must be in accordance with the <u>granted</u> Fires Safety Certificate and Disability Access Certificate Building Control Regulations Article 43 | Does not allow the Opening, operating or occupying of a part of a building in the absence of a CCC. |

Pre Notification

Building Control Regulations [20F \(8\)](#)

Where the plans, calculations, specifications and particulars comprehended under *paragraph (3)(b)* and the Inspection Plan comprehended under *paragraph (3)(c)* **have been submitted** to a building control authority on a date falling **not more than 5 weeks** and **not less than 3 weeks** prior to a nominated date on which a valid Certificate of Compliance on Completion is intended to be entered on the register, the building control authority shall at that point begin to **consider the validity of a prospective** Certificate of Compliance on Completion in accordance with ***paragraphs (3) and (4)*** so that the authority is in a position to include the details of the relevant Certificate of Compliance on Completion on the register on the nominated date provided that a valid Certificate of Compliance on Completion is received by the building control authority on a date not later than the date preceding the nominated date.



Pre Notification - Timeline

Plans, calculations, specifications and particulars Comprehended under *paragraph (3)(b)* and the Inspection Plan comprehended under *paragraph (3)(c)* submitted by AC

AC Initiates the Pre-Notification of a CCC on the BCMS

-5 weeks Max
Before Nominated Date

Building Control Authority consider the validity of the prospective CCC

-3 weeks Min
Before Nominated Date

AC submits the Certificate of Compliance on Completion

Nominated
Day - 2

Nominated
Day - 1

Nominated
Day

Where the authority is not satisfied that matters are in order it will notify the Assigned Certifier that a Certificate of Compliance on Completion cannot be accepted and give reasons why.

BCA validates or Invalidates CCC

What is the role of the Building Control Authority at Completion Stage?

- *Validate the submission of the Certificate of Compliance on Completion- process includes,*
 - *Check that certificate was properly completed and signed by the appropriate persons.*
 - *Check that Annex to CCC properly completed*
 - *Check that the Inspection Plan as Implemented properly completed*
 - *Check that there are no unresolved matters in relation to requests under Section 11 of the Act or*
 - *Enforcement Notices or*
 - *Conditions attached to Fire Safety Certificates, Disability Access Certificates, etc.*
- *Include details of same in the Statutory Building Control Register of Building Control Activity.*

Code of Practice
for
Inspecting and Certifying
Buildings and Works

Building Control
Regulations
1997 to 2015

September, 2016

An Roinn Tithíochta, Pleanála,
Pobail agus Rialtais Áitiúil
Department of Housing, Planning,
Community and Local Government



Query regarding “Selling My House”

Q1. I am in the process of selling my house and although there is a Certificate of Compliance on Completion (CCC) on the Register linked to my house; it is included in the description of the 20-unit house development I live in. CCC Description “10 Type 2A Houses; 1 4-Unit Apartment Block and 6 Type 2B Houses”. My house is Type 2B, no 20 Sycamore Street. The solicitor for the purchaser is insisting on a separate CCC which specifically identifies my house. Can you issue this CCC for my house?

A1. Article 20F [S.I. 9 of 2014](#) provides for the for inclusion of the CCC (signed by the builder and Assigned Certifier) on the [Register](#), before the building is ***opened, occupied or used***. The CCC is accompanied documentation necessary to outline how the works or building as completed complies with the Building Regulations and is accompanied by the Inspection Plan as implemented.

“A CCC may refer to works, buildings, including areas within a building, or developments, including phases thereof, and relevant details shall be clearly identified on the CCC itself”; therefore, it in order to have one CCC supported by a schedule of Ancillary Certificates for a number of individual buildings. This should satisfy solicitors regarding compliance with the Building Control Regulations.

Ref; [Code of Practice for Inspecting and Certifying Buildings and Works](#) S8.2 (c).

“A development, where the CCC has been registered will be deemed to comply with the certification procedures of the Building Control Regulations”. S8.4 “buildings completed for occupation on a phased basis e.g. houses or apartment blocks; a CCC for each phase may be submitted separately. CCC may refer to works, buildings, including areas within a building, or developments, including phases. In such circumstances, one or more CCC may be referenced to a single Commencement Notice”.

Note: For ease of reference thereafter, it is preferable that each building unit has an individual CCC.



FAQ 28: What considerations should be given to phased completion?

S. 1. 9 of 2014 (9) A Certificate of Compliance on Completion may refer to works, buildings, including areas within a building, or developments, including phases thereof, and relevant details shall be clearly identified on the Certificate of Compliance on Completion itself, and subject to validation in line with the requirements at paragraphs (3) and (4), on the register.

Overview; As a general rule the purpose of the Certificate of Compliance on Completion is to required for compliance with the;

1. Administrative requirements as set out in the Building Control Regulations which is basically 3(a), (b)(i) and the
2. Design requirements 3(b)(ii) i.e. the requirements of the Second Schedule to the Building Regulations before Works or buildings can be opened, occupied or used
- Therefore it is recommended that **any phasing of developments for the purpose of Certificate of Compliance on Completion Certificates should be carefully considered in the context of interdependency of the Parts A-M with each other and the other phases in the development.**
- For the purpose of best practice housing development and construction **compliance each phase** should be designed to stand alone and as such **compliance with Part A-M should be addressed both individually and collectively.**
- In essence each phase of the development must be compliant and **not have outstanding compliances in other phases** even if this requires completing all the development works in advance i.e. Part B access for fire appliances, Part H treatment systems, Part M access and use, Part L, J there may be district heating etc. in general each phase must stand alone and should be assessed on its merits; best method is to audit the phase against the particular requirements of the Building Regulations, a consolidated summary is set out below for ease of reference
- Reference is made to the requirements of the Building Control Regulations the relevant section which is set out below;

“Building Control Regulations 1997-2014” -Part IIIC – Certificate of Compliance on Completion

20F (1) Subject to paragraph (2), a Certificate of Compliance on Completion shall be submitted to a building control authority and relevant particulars thereof shall be included on the Register maintained under Part IV before works or a building to which Part II or Part IIIA applies may be opened, occupied or used.

(2) The requirement for a Certificate of Compliance on Completion shall apply to the following Commencement Notice Types-

- (a) Commencement Notice with Compliance Documentation
- (b) 7 Day Notice

(3) A Certificate of Compliance on Completion shall be –

(a) in the form specified for that purpose in the Sixth Schedule, and

(b) accompanied by such plans, calculations, specifications and particulars as are necessary to outline how the works or building as completed –

- (i) differs from the plans, calculations, specifications and particulars submitted for the purposes of Article 9(1)(b)(i) or Article 20A(2)(a)(ii) as appropriate (to be listed and included at the Annex to the Certificate of Compliance on Completion), and
- (ii) complies with the requirements of the Second Schedule to the Building Regulations, (ii) **complies with the requirements of the Second Schedule to the Building Regulations**, and
[Part A — Structure; Part B—Fire Safety; Part C—Site preparation and resistance to moisture; Part D—Materials and workmanship; Part E—Sound; Part F—Ventilation; Part G—Hygiene; Part H—Drainage and waste water disposal; Part J—Heat producing appliances; Part K—Stairways, ladders, ramps and guards; Part L—Conservation of fuel and energy; Part M—Access for disabled people]

(c) accompanied by the Inspection Plan as implemented by the Assigned Certifier in accordance with the Code of Practice referred to under article 20G(1) or a suitable equivalent.

Documents to accompany a CCC

| FAQ 29. What documents / forms are required to accompany a CCC | | | |
|---|---|---------|---------------------------------------|
| Annex Table of Documents | Type | Remarks | Available on BCA request (AOR) Upload |
| Mandatory & Other Required Documents - Name | | | |
| CCC Signed by Builder & Assigned Certifier | Statutory Document | | Upload |
| Inspection Plan as Implemented | Completed Inspection Plan | | Upload |
| Annex of Documents | Table of Plans, Calculations, Specifications, Ancillary Certificates and Particulars used for the purpose of construction and demonstrating compliance with the requirements of the Second Schedule to the Building Regulations and showing, in particular how the completed building or works differ from the design submitted to the Building Control Authority prior to construction (Details of relevant plans, etc. may be listed below and attached hereto) | | Upload |
| Differences from commencement Submission | Document, Plans | | AOR |
| Plans | | | AOR |
| Calculations | | | AOR |
| Specifications | | | AOR |
| Ancillary Certificates | | | AOR |
| Particulars | | | AOR |
| | If relevant | | |
| DACS-DAC-Revised | | | AOR |
| SCs-FSC-Revised-Regularisation | | | AOR |
| Relaxation of Building Regulations | | | AOR |
| Dispensation from Building Regulations | | | AOR |
| Other Relevant Compliances which may be Listed in the Annex Table | | | AOR |
| DEAP Calculations | | | AOR |
| NEAP Calculations | | | AOR |
| | Check | | |
| Phased Developments stand alone Compliance Check Building Regulations | | | AOR |
| Compliance Documentation/Report re temporary Compliances the subject of future Development Works Compliances- i.e. development fully completed? | | | AOR |
| Previous CCC Ref No Documentation/Report which form part of this CCC | | | AOR |
| Other Commencement Notices relevant to this Completion certificate | | | AOR |
| | Requests and Correspondence from BCA | | Upload |

30 [9]

ANNEX

See FAQ 29 & 29a

Table of Plans, Calculations, Specifications, Ancillary Certificates and Particulars used for the purpose of construction and demonstrating compliance with the requirements of the Second Schedule to the Building Regulations and showing, in particular how the completed building or works differ from the design submitted to the Building Control Authority prior to construction.

(Details of relevant plans, etc. may be listed below and attached hereto)

Description

Parts A-M

CoP

Parts A-M

CERTIFICATE OF COMPLIANCE ON COMPLETION

Building Control Authority:

Unique Identifier: (for official use only)

1. This certificate relates to Commencement / 7 Day Notice reference no. _____ in respect of the following building or works: _____

Part A — Certificate signed by Builder

2. I confirm that I am the Builder assigned by the owner to construct, supervise and certify the building or works.

3. I certify, having exercised reasonable skill, care and diligence, that the building or works as completed has been constructed in accordance with the plans, calculations, specifications, ancillary certificates and particulars as certified under the Form of Certificate of Compliance (Design) and listed in the schedule to the Commencement / 7 Day Notice relevant to the above building or works, together with such further plans, calculations, specifications, ancillary certificates and particulars, if any, as have been subsequently issued to me and certified and submitted to the Building Control Authority, and such other documents relevant to compliance with the requirements of the Second Schedule to the Building Regulations as shall be retained by me as outlined in the Code of Practice for Inspecting and Certifying Buildings and Works.

4. Reliant on the foregoing, I certify that the works are in compliance with the requirements of the Second Schedule to the Building Regulations insofar as they apply to the building or works concerned.

Signature: _____ Date: _____

(to be signed by a Principal or Director of a Building Company only)

Name: _____

Address: _____

Tel: _____ Fax: _____ Email: _____

Construction Industry Register Ireland registration number (where applicable): _____

Part B — Certificate signed by Assigned Certifier

5. I confirm that I am the Assigned Certifier assigned by the owner to inspect and certify the building or works concerned.

6. Plans, calculations, specifications and ancillary certificates and particulars as required for the purposes of Part IIIC of the Building Control Regulations are included in the Annex (see attached).

7. I now confirm that the inspection plan, drawn up having regard to the Code of Practice for Inspecting and Certifying Buildings and Works, or equivalent, has been undertaken by the undersigned having exercised reasonable skill, care and diligence, and by others nominated therein, as appropriate, on the basis that all have exercised reasonable skill, care and diligence in certifying their work in the ancillary certificates scheduled.

8. Based on the above, and relying on the ancillary certificates scheduled, I now certify, having exercised reasonable skill, care and diligence, that the building or works is in compliance with the requirements of the Second Schedule to the Building Regulations, insofar as they apply to the building or works concerned.

Signature: _____ Date: _____ Registration No.: _____

(where the signatory is an employee) On behalf of: _____

Name & Address: _____

Tel: _____ Fax: _____ Email: _____

Practice registration number (where relevant): _____

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23/09/2025

CCMA
Cumann Lucht Bainistíochta Contae agus Cathrach
County and City Management Association

NBC & MSO



National Building Control & Market Surveillance Office

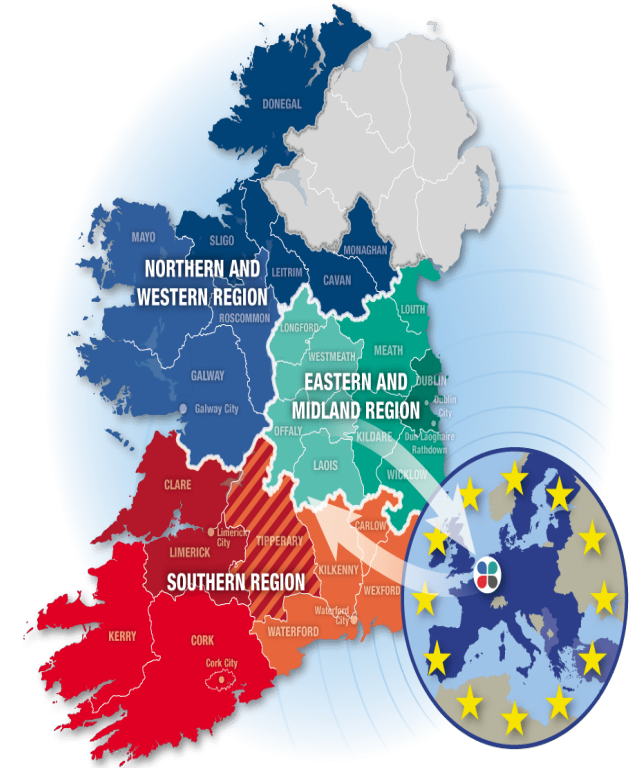
Phased Completion of building or works to comply with Article 20F



An Oifig Náisiúnta um Rialú Foirgníochta
NATIONAL BUILDING CONTROL OFFICE



*GO RAIBH
MAITH AGAIBH*



National Building Control and Market Surveillance Office

English Gaelige

Welcome to the Building Control Management System (BCMS)

Log In

Sign Up

National Market Surveillance Office

National Building Control Office

**Our goal is to promote
Compliance with the
Building Regulations through
onsite
INSPECTIONS.**