



# NBC&MSO CPD Event

23/09/2025



-Education & Training

-Compliance Support

-Inspections

-BCMS

[Support@nbco.gov.ie](mailto:Support@nbco.gov.ie)



[NBCO Website](#)



[NBCO X](#)



[NBCO YouTube](#)



- **Understand Legislation**

1. Obligations (Owners)

- Give Notice Article 8
- Completion 20F

Form of Notice Article 9 /20A

- Statutory documents & responsibilities
- Supporting documents (schedule of documents)

2. Obligations (Building Control Authority) Article 10/20A

- **Follow the Procedures**

- The BCMS
- How to check for compliance with Article 9 – Accept / Validate?
- Timelines

- **Achieve Outcomes**

- The Register Part IV
- Inspection - Desktop technical/onsite
- Section 11 Request
- Certificate of Compliance on completion



### BUILDING CONTROL ACT 1990-2014 SECTION 3.

### [Building regulations.](#)

(5) Subject to subsection (11) and to—

(a) any dispensation or relaxation granted under section 4 or 5 , or

(b) any appeal under section 7 which has been allowed,

every building to which building regulations apply shall be **designed and constructed** in accordance with the provisions of such regulations.

### BUILDING CONTROL ACT 1990-2014 SECTION 6.

### [Building control regulations.](#)

(2) Without prejudice to the generality of *subsection (1)*, building control regulations may make provision for all or any of the following matters—

(k) **requiring the giving of notice to building control authorities of the erection of such buildings, or classes of buildings, or the carrying out of such works, or classes of works, as may be specified in the regulations;**



### Code of Practice for Inspecting and Certifying Buildings and Works

### Roles and Duties

#### 3.2 Building Owner's Role

The **Building Owner** is ultimately responsible for ensuring that buildings or works are carried out in accordance with the requirements of the Building Regulations. In relation to the Design and Construction of buildings, the Building Owner should ensure that they appoint a competent Builder and competent registered professionals to act as Designer and as Assigned Certifier.

(d) ensure that **adequate resources and Competent Persons** are made available to **design, construct, inspect** and **certify** the building works;

### BUILDING CONTROL REGULATIONS 1997 – 2024

### PART II

## COMMENCEMENT NOTICES AND CERTIFICATES OF COMPLIANCE BEFORE CONSTRUCTION

[Article 7](#). Application of Part II

[Article 8](#). Obligation to give notice

[Article 8A](#). Exception to obligation to give notice

[Article 9](#). Form of commencement notice

[Article 10](#). Procedure on receipt of notice



### Article 7

### [Application of Part II.](#)

7. (1) Subject to sub-article (2) and articles 3 and 6, this Part **applies to**—

- (a) the erection of a building,
- (b) the material alteration or extension of a building, and
- (c) a material change of use of a building, **to which the Building Regulations apply.**

(2) (a) Subject to paragraph (b), this Part shall **not apply** to works or a building as regards which a material change of use takes place, where—

- (i) the works are or the material change of use is exempted development for the purposes of the Local Government (Planning and Development) Acts, 1963 to 1993), **and**
- (ii) Part III, or Part III of the Building Control Regulations, 1991 and 1994, do not apply to the works or building.

(b) This Part applies to works in connection with the material alteration (excluding a material alteration consisting solely of minor works) of a shop, office or industrial building to which Part III, or Part III of the Building Control Regulations, 1991 and 1994, do not apply.



### Article 8

### [Obligation to give notice.](#)

**8. A person who intends to carry out any works**, or to make a material change of use as regards a building to which this Part applies, **shall give**, to the building control authority in whose functional area the works or buildings are, is, or will be situated, **notice in writing** of such intention (in these Regulations referred to as a "commencement notice") **not less than fourteen days** and **not more than twenty-eight** days before the commencement of the works or the making of the material change of use.

### 8A. Exception to obligation to give notice.

A commencement notice under *article 8* shall not be required in respect of works or a building in respect of which a 7 day notice is required under *article 20A(1)*.



### Article 9

### Form of Commencement Notice.

9. (1) A commencement notice shall be—

(a) filed electronically on the Building Control Management System or set out in the form for that purpose included in the Second Schedule, and

(b) subject to paragraph (2), accompanied by—

(i) such **plans, calculations, specifications and particulars** as are **necessary** to outline how the proposed works or building will comply with the requirements of the Second Schedule to the Building Regulations relevant to the works or building concerned, and including—

(I) general arrangement drawings **including plans, sections and elevations**,

(II) **a schedule** of such plans, calculations, specifications and particulars **as are currently designed or as are to be prepared at a later date**,

(III) the completion of an **online assessment**, via the Building Control Management System, of the proposed approach to compliance with the requirements of the Second Schedule to the Building Regulations,

(IV) the **preliminary Inspection Plan** prepared by the Assigned Certifier, and

(ii) the following **certificates and notices** in the appropriate forms set out in the Second Schedule—

(I) a Certificate of Compliance (Design),

(II) a Notice of Assignment of Person to Inspect and Certify Works (Assigned Certifier),

(III) a Certificate of Compliance (Undertaking by Assigned Certifier),

(IV) a Notice of Assignment of Builder,

(V) a Certificate of Compliance (Undertaking by Builder).

(c) such **fee** as is required under Part V.





### Article 9

2) Subject to paragraph (5) , the requirements of paragraph (1)( b ) shall apply to the following works and buildings —

- ( a ) the design and construction of a new dwelling,
- ( b ) an extension to a dwelling involving a total floor area greater than 40 square metres,
- ( c ) works to which Part III applies.

(5) Notwithstanding the provisions of *subparagraphs* (2)( a ) and (2)( b ) , in the case of a new single dwelling, on a single unit development, or an extension to a dwelling, a commencement notice may, as an alternative to the requirements at *subparagraphs* (1)( b )(i)(IV), (1)( b )(ii)(I), (1)( b )(ii)(II), (1)( b )(ii)(III) and (1)( b )(ii)(V) be accompanied by a Declaration of Intention to Opt Out of Statutory

Certification. This declaration shall be made by the owner via the Building Control Management System or on the appropriate form set out for that purpose in the Second Schedule.

### Form of Commencement Notice.

Commencement Notice with Compliance Documentation	Commencement Notice without Compliance Documentation	Commencement Notice with Opt Out of Statutory Declaration	7 Day Notice
Form of Commencement Notice	Form of Commencement Notice	Form of Commencement Notice	Form of 7 Day Notice
		Declaration of Intention to Opt Out of Statutory Certification	Statutory Declaration
Design Certificate			Design Certificate
Nomination of Builder		Nomination of Builder	Nomination of Builder
Undertaking by Builder			Undertaking by Builder
Nomination of Assigned Certifier			Nomination of Assigned Certifier
Undertaking by Assigned Certifier			Undertaking by Assigned Certifier
General Arrangement Drawings		General Arrangement Drawings	General Arrangement Drawings
Preliminary Inspection Plan			Preliminary Inspection Plan

Q6-6. Submission of Documents (where applicable): A Schedule of Documents accompanying this Commencement Notice is attached in the following format: Schedule of Documents(Plans, Calculations, Specifications, Ancillary Certificates & Particulars)-

Document	Reference	Description/Remarks
		e.g., designed/to be designed later (also ref, 5.1 & 5.2 <a href="#">Code of Practice</a> )
Completion of an Online Assessment via the BCMS	Completion of an Online Assessment via the BCMS	Completion of an Online Assessment via the BCMS





### BUILDING CONTROL ACT 1990 - 2014 Section 6

### Building Control regulations

(2) Without prejudice to the generality of *subsection (1)*, building control regulations may make provision for all or any of the following matters—

(a) Requiring –

(iv) the submission (**before grant of the relevant fire safety certificate**) of a notice in writing to a building control authority (in this Act referred to as a "**7 day notice**") by a person who intends to commence work on the construction of a building or an extension of or a material alteration to a building, giving not less than 7 days notice of that person's intention to carry out those works, and requiring that such notice shall be accompanied by a **valid application** for a fire safety certificate

(v) the submission to a building control authority by a person who submits a 7 day notice of a **statutory declaration** (in this Act referred to as a "7 day notice statutory declaration") made by that person stating that the application for the relevant fire safety certificate has been completed in all respects and complies with the relevant provisions of the building control regulations, that any works that have been commenced before the grant of such certificate will comply with the building regulations and that the person will, within such period as may be specified by the building control authority, carry out any modification of such works that is required by or under the fire safety certificate, including any condition attached to it, when it is granted by the building control authority concerned,

### BUILDING CONTROL REGULATIONS 1997 – 2024

### PART III A

## 7 DAY NOTICE, CERTIFICATES OF COMPLIANCE, REVISED FIRE SAFETY CERTIFICATE, REGULARISATION CERTIFICATE, STATUTORY DECLARATION AND 7 DAY NOTICE STATUTORY DECLARATION

### 7 Day Notice

20A (1) ( a ) A 7 day notice shall be submitted to a building control authority in respect of:

- (i) all works or buildings to which Part III applies, pursuant to Article 11(1) of these Regulations, and
- (ii) where it is proposed to commence work **before grant of the relevant fire safety certificate**.

( b ) A 7 day notice referred to in paragraph (a) shall be submitted **not less than 7 days** in advance of commencement of work.



### BUILDING CONTROL REGULATIONS 1997 – 2024

### PART IIIA

- (2)( a) A 7 day notice shall be —
- (i) filed electronically on the Building Control Management System or set out on the form for that purpose included in the Third Schedule,
  - (ii) subject to subparagraph (b) , accompanied by —
    - (I) a **valid application for a fire safety certificate** from the applicant in the form specified for that purpose in the Third Schedule and accompanied by such plans and particulars as required under Articles 13(2)(a) and 13(2)(b) ,
    - (II) a 7 day notice **statutory declaration** in the form specified for that purpose in the Third Schedule ,
    - (III) such plans, calculations, specifications and particulars as are necessary to outline how the proposed works or building will comply with the requirements of the Second Schedule to the Building Regulations relevant to the works or building concerned, and including —
      - (A) general arrangement drawings including **plans, sections and elevations**,
      - (B) a **schedule** of such plans, calculations, specifications and particulars **as are currently designed or as are to be prepared at a later date**,
      - (C) the completion of an **online assessment**, via the Building Control Management System, of the proposed approach to comply with the requirements of the Second Schedule to the Building Regulations,
    - (D) the **preliminary Inspection Plan** prepared by the Assigned Certifier, and
    - (IV) the following **certificates and notices** in the appropriate forms set out in the Third Schedule —
      - (A) a Certificate of Compliance (Design),
      - (B) a Notice of Assignment of Person to Inspect and Certify Works (Assigned Certifier),
      - (C) a Certificate of Compliance (Undertaking by Assigned Certifier),
      - (D) a Notice of Assignment of Builder, and
      - (E) a Certificate of Compliance (Undertaking by Builder), and
  - (iii) accompanied by such **fee** as is required under Part V .



✓ Project Particulars

✓ Online Assessment

✓ Phasing

✓ Nominate Roles

✓ Statutory Documents

● Supporting Documents

● Payment

As well as the required Statutory documents, at least 3 supporting documents are also required for submission.

The additional support documents are as follows:

**Select at least one from the following**

- General Arrangement Drawings
- Plans
- Sections
- Elevations

**And at least one of the following**

- Part L Compliance Report including Building Energy Rating
- Calculations
- Specifications and Particulars

**And at least one of the following**

- Compliance Report- with Second Schedule (Part A-M) of Building Regulations
- Preliminary Inspection Plan, prepared by the Assigned Certifier

Supporting Document :

Choose File

No file chosen

Only PDF files are allowed. The maximum file size for this document is 50 MB.

Upload

Amount €\*

30.00

Submit amount required for payment

Pay and Submit Notice

- Select -
- General Arrangement Drawings
- Plans
- Sections
- Elevations
- Part L Compliance Report including Building Energy Rating
- Calculations
- Specifications and Particulars
- Compliance Report- with Second Schedule (Part A-M) of Building Regulations
- Preliminary Inspection Plan, prepared by the Assigned Certifier
- Ancillary Certificates



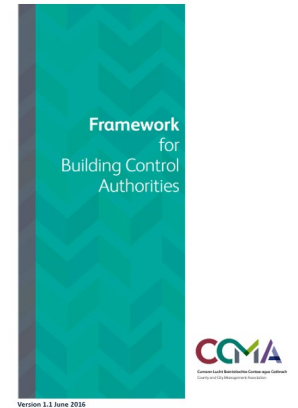
### Article 10

### [Procedure on receipt of Notice](#)

- (1) On receipt of a commencement notice, a building control authority shall—
  - (a) **record the date of receipt of the notice, and**
  - (b) **consider whether the notice complies with the requirements of article 9.**
- (2) Where a building control authority consider that a commencement notice complies with the requirements of article 9, they shall send to the person giving the notice **an acknowledgement** stating the date of receipt of the notice.
- (3) Where a building control authority considers that a commencement notice does not comply with Article 9, they may **respond, within 7 days** of receipt of a notice filed electronically or within **12 days of receipt of a notice received in writing**, by electronic means or in writing as appropriate, and notify the person giving the commencement notice, that, having regard to the extent of the failure to comply with the said Article,
  - (a) the commencement notice is **invalid** and cannot be accepted by the authority, **or**
  - (b) that such **revised notice, or** such **additional information or fee**, as may be necessary to comply with the said Article will be required to be submitted.
- (4) Where a building control authority serve a notice in accordance with sub-article 3(a), they shall **return to the person** giving the notice, **the fee and any original documentation** received from the person giving the notice.

### 10.1 Commencement Stage

On receipt of the Commencement Notice, together with the notices of assignment of Builder and Assigned Certifier, their respective undertakings, the Design Certificate and accompanying inspection plans and documentation; the Building Control Authority will undertake a **validation process on the documentation submitted**. (Appendix III provides further details on this process). **Validation relates solely to the completeness of the application in terms of material submitted** and not to the detail within the material itself. A Building Control Authority is not under any duty to ensure that a building or works to which a Certificate of Compliance or Notice relates complies with the requirements of the Building Regulations, is free from defects, complies with the requirements of the Building Control Acts or Regulations, or verify that the facts stated in the certificate are true and accurate. Plans and documentation lodged will be readily available should the particular project be selected for an inspection by the Building Control Authority.

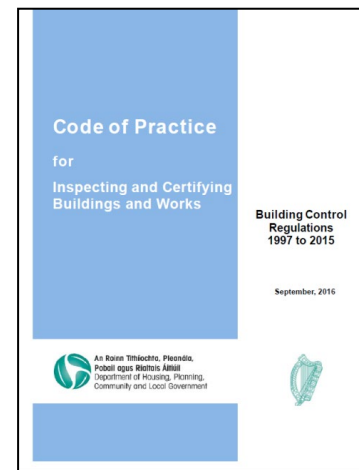


### 3.6.2 Commencement Stage – Validation

...There is no requirement or obligation on the Building Control Authority to carry out a technical assessment of the plans or other documents submitted, see section 6(4) of the Act of 1990. Separate to its administrative function of maintaining the Register, Building Control Authorities have strong powers of inspection and enforcement under the Building Control Acts. They should exercise these powers based on the combination of risk-based assessment and random selection...

...From the Building Control Authority's perspective, any plans and documentation lodged will be readily available should the particular project be selected for a building control inspection.

**The Building Owner is ultimately responsible for ensuring that buildings or works are carried out in accordance with the requirements of the Building Regulations**







# National Building Control & Market Surveillance Office

## FORM OF COMMENCEMENT NOTICE FOR DEVELOPMENT

(Notice to a Building Control Authority pursuant to Part II of the Building Control Regulations 1997 to 2014)

Building Control Authority: \_\_\_\_\_

Unique Identifier: \_\_\_\_\_  
(for official use only)

1. I, hereby give notice in accordance with Part II of the Building Control Regulations 1997 to 2014 that it is intended to carry out the development as described below commencing on the date of \_\_\_\_\_

Name of Building Owner(s): \_\_\_\_\_

Address: \_\_\_\_\_

Tel: \_\_\_\_\_ Fax: \_\_\_\_\_ Email: \_\_\_\_\_

2. I enclose the fee payable for making this Notice of €: \_\_\_\_\_

**3a. PROJECT PARTICULARS:** (In addition, for Residential Developments, please complete Section 3b below)

Description of proposed development: \_\_\_\_\_

Planning Permission No.: \_\_\_\_\_ Date Granted: \_\_\_\_\_

Date of expiry: \_\_\_\_\_

Fire Safety Certificate No. (if applicable): \_\_\_\_\_

Disability Access Certificate No. (if applicable): \_\_\_\_\_

Location of development: \_\_\_\_\_

Number of buildings: \_\_\_\_\_ Number of new buildings: \_\_\_\_\_

Use of buildings: \_\_\_\_\_

### 3b. Residential Development Information:

Total number of dwelling units (all phases\*): \_\_\_\_\_

Total no. of phases\* \_\_\_\_\_ of which \_\_\_\_\_ are multiple unit dwellings.

Phase for this commencement notice: \_\_\_\_\_

No. of units for this phase/commencement notice\*\*: \_\_\_\_\_

Commencement date for this phase: \_\_\_\_\_

(Proposed) End-date for this phase: \_\_\_\_\_

\* Where applicable, i.e. phasing not relevant for single houses.

\*\* Include single house figure here also.

### 4. Builder:

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Tel: \_\_\_\_\_ Fax: \_\_\_\_\_ Email: \_\_\_\_\_

Construction Industry Register Ireland registration number (where applicable): \_\_\_\_\_

### 5. Building Designer Details:

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Tel: \_\_\_\_\_ Fax: \_\_\_\_\_ Email: \_\_\_\_\_

Practice registration number (where relevant): \_\_\_\_\_

Where required under Part III of the Building Control Regulations 1997 to 2014, the mandatory Certificate of Compliance (Design) signed by the above Building Designer accompanies this Notice.

**6. Submission of Documents (where applicable):** A Schedule of Documents accompanying this Commencement Notice is attached in the following format:

**Schedule of Documents (Plans, Calculations, Specifications, Ancillary Certificates and Particulars)**

Document	Reference	Description/Remarks

### 7. Signature by Building Owner:



Signature: \_\_\_\_\_  
(Building Owner)

Date: \_\_\_\_\_



# National Building Control & Market Surveillance Office

## Commencement Notices

<div>Local Authority Main st Main rd Dublin</div> <div> Unique Identifier: 8519316 (For Office Use Only)</div> <div>BCMS Building Control Management System</div>	<div> Unique Identifier: 8519316 (For Office Use Only)</div> <div>BCMS Building Control Management System</div>	<div>BCMS Building Control Management System</div>	<div>BCMS Building Control Management System</div>
<div>Form of Commencement Notice for Development Building Control Acts 1990 AND 2007</div> <div>(Notice to a Building Control Authority pursuant to Part II of the Building Control Acts 1990 and 2007)</div> <div>Building Control Authority: _____</div> <div>1. I, hereby give notice in accordance with Part II of the Building Control Acts 1990 and 2007 intended to carry out the development as described below commencing on _____</div> <div>Name of Building Owner(s): _____</div> <div>Address: _____</div> <div>Telephone: _____ Fax: _____</div> <div>Email: _____</div> <div>2. I enclose the fee payable for making this Notice of € _____</div> <div>3a. PROJECT PARTICULARS: (In addition, for Residential Developments below)</div> <div>Description of proposed development: _____</div> <div>_____</div> <div>_____</div> <div>Planning Permission No.: _____ Date Granted: _____</div> <div>Fire Safety Certificate No.: (if applicable) _____</div> <div>Disability Access Certificate No.: (if applicable) _____</div> <div>Location of development: _____</div> <div>Number of buildings: _____ Number of floors: _____</div> <div>Use of buildings: _____</div>	<div>Form of Commencement Notice for Development Building Control Acts 1990 AND 2007</div> <div>SECOND SCHEDULE</div> <div>3b. Residential Development Information:</div> <div>Total number of dwelling units (all phases*): _____</div> <div>Total number of phases* _____ of which _____</div> <div>Phase for this commencement notice: _____</div> <div>No. of units for this phase/commencement notice**:</div> <div>Commencement date for this phase: _____</div> <div>(Proposed) End-date for this phase: _____</div> <div>(* Where applicable, i.e. phasing not relevant for single houses) (** Include all units)</div> <div>4. Builder:</div> <div>Name: _____</div> <div>Address: _____</div> <div>_____</div> <div>Telephone: _____ Fax: _____</div> <div>Email: _____</div> <div>Construction Industry Register Ireland Registration No. (where applicable): _____</div>	<div>Form of Commencement Notice for Development Building Control Acts 1990 AND 2007</div> <div>SECOND SCHEDULE</div> <div>5. Building designer details:</div> <div>Name: _____</div> <div>Address: _____</div> <div>_____</div> <div>Telephone: _____ Fax: _____</div> <div>Email: _____</div> <div>Practice Registration No. (where relevant): _____</div> <div>Where required under Part III of the Building Control Regulations 1997 to 2014, the Building Designer must submit a Certificate of Compliance (Design) signed by the above Building Designer accompanying this Notice.</div> <div>6. Submission of Documents (where applicable): A Schedule of Documents as required by the Building Control Regulations 1997 to 2014 is attached in the following format:</div> <div>Schedule of Documents (Plans, Calculations, Specifications, Ancillary Certificates &amp; Documents)</div> <div>Reference Description</div> <div>7. Signature by building owner:</div> <div>Signature: _____</div> <div>(Building Owner)</div> <div>Date: _____</div>	<div>7 day Notice Statutory Declaration Building Control Acts 1990 AND 2007</div> <div>(Article 20A)</div> <div>I/we _____</div> <div>do solemnly and sincerely declare that I/we have made an application to the Local Authority for a Fire Safety Certificate in respect of works commencing not less than 7 days from this date.</div> <div>Description of works: _____</div> <div>_____</div> <div>Located at: _____</div> <div>Pursuant to Article 12 of the Building Control Regulations 1997 to 2009 and I/we solemnly declare that the application has been completed in full and complies in all respects with the relevant provisions of the Building Control Regulations. I/we further solemnly declare that any works that have commenced before the grant of the Fire Safety Certificate will comply fully with the Building Regulations and I/we will, within such period as may be specified by the Building Control Authority, carry out any modification of such works that is required by or under the Fire Safety Certificate, including any condition(s) attached to the Fire Safety Certificate when granted by the Building Control Authority.</div> <div>Signed: _____</div> <div>Date: _____</div> <div>Signed in the Presence of Commissioner of Oaths:</div> <div>Name: _____</div> <div>Address: _____</div> <div>Signature: _____</div> <div>Commissioner of Oaths</div> <div>Warning: It is an offence for a person to knowingly or recklessly make a Statutory Declaration that is false or misleading in a material respect.</div> <div>NOTE: This declaration must be signed by a person with the authority and ability to carry out the declared undertakings. This will, in most cases, be the owner of the building unless legal authority has been delegated and submitted with the declaration.</div>



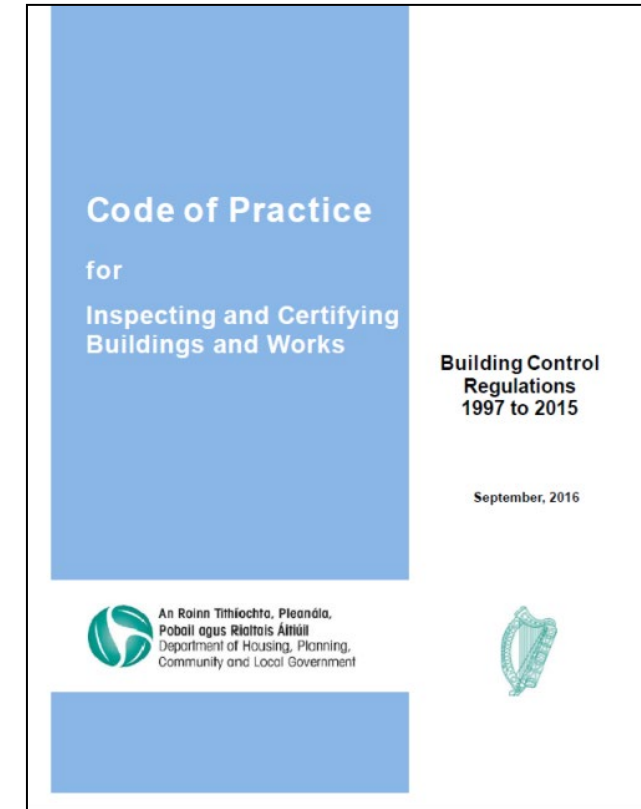
### 5. Lodgement of Plans and Documentation

#### 5.1 Plans and specifications

The **Design Certifier** and the **Assigned Certifier**, before signing the Design Certificate and the form of Undertaking by the Assigned Certifier respectively, should exercise reasonable skill, care and diligence in checking that the documentation for which each is responsible is appropriate for lodgement with the Commencement Notice.

In some cases certain aspects of the building or works may not be fully designed at commencement stage, but each such incomplete aspect or design element should be identified in the submission which accompanies the Commencement Notice together with an indicative date by which it is expected that the outstanding design element will be completed.

**In all cases, an appropriate level of plans and documentation should be submitted to the Building Control Authority.**





# National Building Control & Market Surveillance Office

## Commencement Notices

**NBCO Sample Schedule of Documents Q6 Schedule of Documents (Plans, Calculations, Specifications, Ancillary Certificates & Particulars); Ref: BCAR Article 9(1)(b)(i)(ii)**  
Erection of a New two-storey, two-bay, detached Dwelling of masonry construction with wastewater treatment system and Detached Garage at a Field, Townland, County Local Authority

Documents	Reference Ref: also, For Practice Note 3 - Commencement Notice <a href="#">CLICK HERE!</a>	Description /Remarks designed/to be designed later (TbDL) (also ref, 5.1 & 5.2 Code of Practice)
<b>General Arrangement Drawings (GAD) including plan, sections and elevations, (ii) a schedule of such plans, calculations, specifications and particulars as are currently designed or as are to be prepared at a later date,</b>	GAD_Particulars_100_Compliance Report based on Building Regulations A – M ref:	Designed /Uploaded
	GAD_Plan_200_Site Location/Layout plan at a scale of 1:1000/1:2500	Designed /Uploaded
	GAD_Particulars_300_Site investigation reports	Designed
	GAD_Plan_400_Floor plans (each floor (sub/Ground/1st) separately) at a scale of 1:100	Designed/Uploaded
	GAD_Elevations_500_ (each elevation (walls/ floors /roof))at a scale of 1:100	Designed/Uploaded
	GAD_Sections_600_ (long & cross sections) at a scale of 1:100	Designed/Uploaded
	GAD_Sections_601_Foundation details at a scale of 1:50	Designed/Uploaded
	GAD_Sections_602_Ground floor details at a scale of 1:50	Designed/Uploaded
	GAD_Sections_603_First & subsequent floor details at a scale of 1:50	Designed/Uploaded
	GAD_Sections_604_External wall details at a scale of 1:50	Designed/Uploaded
	GAD_Sections_605_Surface & foul wastewater plans & sections	Designed/Uploaded
	GAD_Sections_606_Elevations (each elevation) at a scale of 1:100	Designed/Uploaded
	GAD_Plan_700_Roof Plan & Sections	Designed/Uploaded
	GAD_Calcs_800_DEAP Calculations (provisional BER, where appropriate)	Designed/Uploaded
	GAD_Particulars_900_Details relating to any SOAKAWAYS, SUDS, PERCOLATION AREA, septic tanks/ advanced WASTEWATER TREATMENT* SYSTEMS, (where necessary)	Designed/Uploaded
	GAD_Calcs_900_Details relating to any gas/heat installation showing location of Oil Heating appliances and Flues	Designed/Uploaded
	GAD_Calcs_1000_Structural calculations	Designed
	other depending on complexity	Designed/Uploaded
<b>Inspection Plans</b>	INSP_Plan_1100_Preliminary Inspection Plan prepared by the Assigned Certifier	Designed/Uploaded

6. Submission of Documents (where applicable): A Schedule of Documents accompanying this Commencement Notice is attached in the following format:

### Schedule of Documents (Plans, Calculations, Specifications, Ancillary Certificates and Particulars)

Document	Reference	Description/Remarks

Documents	Reference Ref: also, For Practice Note 3 - Commencement Notice <a href="#">CLICK HERE!</a>	
<b>Ancillary Certificates Ref, Table C.2 CoP</b>	A <sub>0</sub> , E <sub>0</sub> , B <sub>0</sub> ; ANCILLARY CERTIFICATE OF COMPLIANCE: DESIGN as required (Ref, For Practice Note 17 1 - Ancillary Certs <a href="#">CLICK HERE</a> (supporting Ancillary Certification available on request))	Designed
	Confirmation of the use of proper materials. <ul style="list-style-type: none"><li>Aggregate concrete Blocks</li><li>Internal/External Render</li><li>Roof slates</li><li>Timber</li><li>Trusses</li><li>Pipework</li><li>Underfloor Fill</li><li>Radon Installation</li><li>etc</li></ul>	Designed & TbDL
	2. Mechanical ventilation & heat recovery installation & commissioning report.	TbDL
	3. Wastewater treatment system installation & commissioning report.	TbDL
	4. Space & water heating system installation & commissioning report.	TbDL
	5. Air tightness test report.	TbDL
	6. DEAP calculation for dwelling house (as built).	TbDL
	7. Evidence of Fire detection/ alarm commissioning	TbDL
	8. Other	
	Plan_DWG_201B_Window & Door Schedule (Shop)	TbDL
	Plan_DWG_Electrical Layout Schedule	TbDL
	CALC_DWG_103E_Beams & Lintels Schedule, Specifications & Drawings	Designed
	CALC_DWG_105A Surface Water & Foul Water Sewer Schedule Calculations & Drawings	Designed
	CALC_DWG Mechanical Ventilation Schedule & Drawings.	Designed
	Hot & Cold-Water Systems & Sanitation Installations, schedule and drawings.	Designed

National Building Control & Market Surveillance Office | Access your local services  
<https://www.nbcso.local.gov.uk/>

**Schedule of Documents, Question 6  
Form of Commencement Notice**  
(Schedule of Supporting Compliance Documents at Commencement Notice Stage)

Prepared by the  
National Building Control Office  
Inspections Pillar Team  
Date of Issue: 10/12/2024

**NBC&MSO**  
National Building Control & Market Surveillance Office

**CCMA**  
Construction Contract Management Association



## Practice Notes



## APPENDIX A

### Example of Schedule of Documents which may Demonstrate Compliance – Domestic Dwelling Houses – not prescriptive

Available prior to commencement (and/or may be requested at any time by the Building Control Authority for upload during the construction or at completion stage).

#### 1. Compliance Report based on Building Regulations A – M 1997 – 2017:

Including any calculations/specifications which cannot be visually demonstrated on a plan drawing where such information is required for initial procurement or early stages of the works e.g. timber frame selection, substructures, requirements for discharge pipes, required distances between drainage access points, etc.

#### 2. Site Location/Layout plan at a scale of 1:1000/1:2500

#### 3. Any site investigation reports

#### 4. Floor plans (each floor separately) at a scale of 1:100

#### 5. Elevations (each elevation) at a scale of 1:100

#### 6. Sections (long & cross sections) at a scale of 1:100

##### 1. Foundation details at a scale of 1:50

##### 2. Ground floor details at a scale of 1:50

##### 3. First & subsequent floor details at a scale of 1:50

##### 4. External wall details at a scale of 1:50

##### 5. Surface & foul wastewater plans & sections

#### 7. Roof plan & sections

#### 8. DEAP Calculations (provisional BER, where appropriate)

#### 9. Details relating to any soakaways, SUDS, percolation area, septic tanks/advanced wastewater treatment systems, (where necessary)

#### 10. Details relating to any gas/heat installation showing location of Oil Heating appliances and Flues \*

#### 11. Structural calculations \*\*

Designers must use their professional skill and judgement in deciding what elements in the Schedule are appropriate to their particular project.

\* Full details of design to be available prior to commencement of works and before completion cert stage

\*\* Structural calculations to be available on request by Building Control Authority

## Commencement Notices

## APPENDIX B

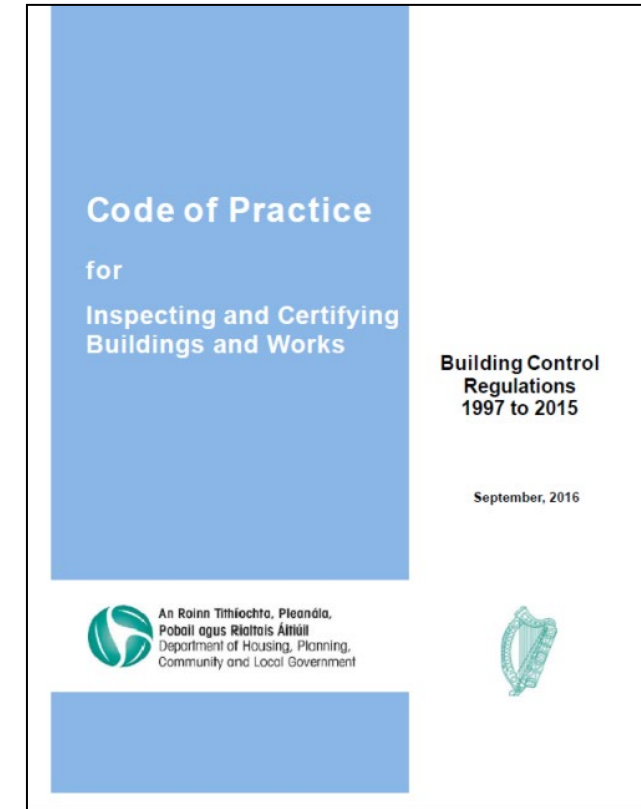
e.g. for Apartments, Duplexes and other Multi Unit Developments requiring FC & DAC

Schedule of Documents which may Demonstrate Compliance Part A-M		
Structure (Part A)	Site Investigation Report	Report
	Foundations - general arrangement	Plan
	Super structure - general arrangement & disproportionate collapse	Section
	External wall cladding structural arrangement	Section
Fire (Part B) - Mandatory Up Load if Fire Certificate Required or 7 Day Notice submitted	Structural design calculations/codes used/assumptions made, etc	Report
	Fire Certificate/7 day notice. Full account of both Part B sections of TGD's for both dwellings and multi unit dwellings requiring FSC should be reflected in submission	Certificate
	Fire Cert report	Report
	And/Or	And/Or
	Means of escape	Plans & elevation
	Internal spread of fire (linings & structure)	Plans & elevation
	External spread of fire	Plans & elevation
	Access and facilities for fire	Plans & elevation
	Design Certificates as may be required under an Irish Standard e.g. Fire Alarm System, Emergency Lighting System	
Site Preparation (Part C)	Subsoil drainage arrangement	Plans & cross sections
	Treatment of site contaminants/landfill gas	Report
	Radon measures	Design
Resistance to Moisture (Part C)	Resistance to moisture (incl cladding)	Plans & sections
Materials (Part D)	Specification of material fit for use in conditions of use incorporating CPR Requirements	Specification Documents
	Location of Letter plates	Elevation
Sound (Part E)	Sound resistance build-up of relevant floors and walls	Plans & sections
	Airborne Sound	Tests Report ***
	Impact Sound	Tests Report ***
Ventilation (Part F)	Ventilation rate calculations	Report
	Ventilation system - general arrangement	Plans, sections, elevations
	Adequate Roof ventilation	Sections & elevations
Hygiene (Part G)	Adequate Bathroom and Kitchen facilities	Plans
	Adequate Hot and Cold Water Supply	Plans & Sections
	Adequate Sanitary conveniences and washing facilities	Plans

### 5.3 Lodgement of plans at later stage

Design work that is due for completion and specialist design that is not available for submission at commencement stage should be certified and submitted at a later stage. Drawings and documentation for these designs should be submitted **before the relevant work commences**, with Ancillary Certificates of Compliance, where appropriate.

Similarly, drawings and documentation for significant changes or omissions should be certified and submitted before the relevant work commences.



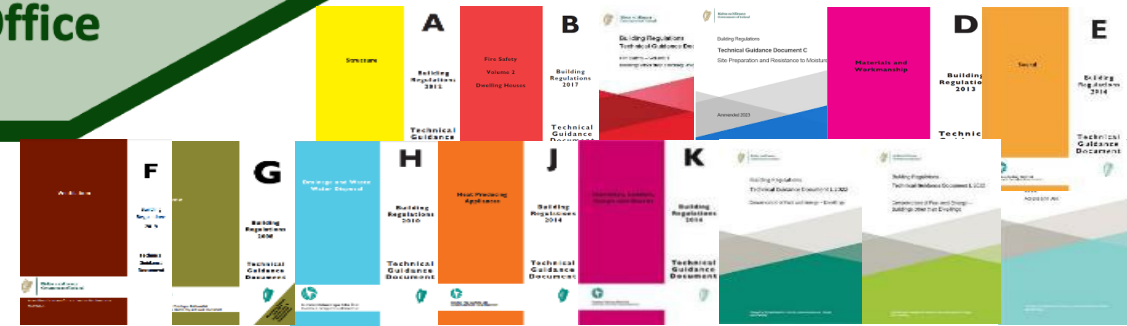




# National Building Control & Market Surveillance Office

PART	TYPICAL INFORMATION 5.1 Refer to Code of Practice <sup>1</sup>	YES	NO	NA
<b>A<sup>i</sup></b>	Are load bearing elements (e.g. foundations, walls, beams, joists, columns etc.) identified and sizes and specification of same annotated or illustrated? Are details in accordance with Technical Guidance <a href="#">TGD A</a>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>B<sup>ii</sup></b>	Are compartments, protected areas such as corridors & stair enclosures and escape routes identified, and specific measures described including details of cavity barriers, fire doors, escape windows and final exits? Are details in accordance with <a href="#">TGD B<sup>2</sup></a> or <a href="#">TGD B(Dwelling houses)</a>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>C<sup>iii</sup></b>	Is the requirement for subsoil drainage described or illustrated, including reference to associated calculations? Are radon measures including number and location of sumps illustrated? Are details in accordance with Technical Guidance <a href="#">TGD C</a>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>D<sup>iv</sup></b>	Are materials and standards of workmanship specified? Are critical glazing locations identified? Is a letter plate aperture provided? Are details in accordance with <a href="#">TGD D</a>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>E<sup>v</sup></b>	Are sound tests required (terraced or semi-detached dwellings, apartments etc) and requirements for sound resistance annotated or illustrated? Are details in accordance with Technical Guidance <a href="#">TGD E</a>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>F<sup>vi</sup></b>	Is the ventilation strategy clearly identified? Are window openings and vents indicated with reference to calculations associated with the relevant ventilation strategy? Are details in accordance with Technical Guidance <a href="#">TGD F</a>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>G<sup>vii</sup></b>	Are sanitary conveniences and details of hot and cold-water provision clearly identified on drawings. Are details in accordance with Technical Guidance <a href="#">TGD G</a>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>H<sup>viii</sup></b>	Are details of foul wastewater and surface water treatment and disposal measures including routes and sizes of systems illustrated or specified on drawings? Are details in accordance with Technical Guidance <a href="#">TGD H</a>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>J<sup>ix</sup></b>	Has the need for fuel storage provision been highlighted and are details indicated on drawings? Are details in accordance with Technical Guidance <a href="#">TGD J</a>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>K<sup>x</sup></b>	Are details of stairs & guarding annotated or illustrated on drawings. Are details in accordance with Technical Guidance <a href="#">TGD K</a>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

22



PART	TYPICAL INFORMATION 5.1 Refer to Code of Practice <sup>1</sup>	YES	NO	NA
<b>L<sup>xi</sup></b>	Are details of the fabric of the building illustrated or annotated (including insulation dimensions and or U-values, air tightness line etc.) Is the location of any plant within or outside the building indicated on drawings? Are thermal bridges <u>identified</u> and calculations provided or scheduled. Are details in accordance with Technical Guidance <a href="#">TGD L</a> or <a href="#">TGD L(Dwellings)</a>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>M<sup>xii</sup></b>	Are measures of accessibility illustrated or annotated on drawings including access into the building, including ground levels, circulation dimensions and provision of accessible sanitary conveniences. Are details in accordance with Technical Guidance <a href="#">TGD M</a>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	Do the drawings outline how the proposed works or building will comply with the requirements of the Second Schedule to the Building Regulations Parts A-M relevant to the works or building concerned?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Where an answer is No is or will compliance with the relevant Parts of the Building Regulations be demonstrated in calculations, specifications or particulars listed in the Schedule of Documents submitted with the commencement Notice?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	Is the information on the drawings related to the building or works and the location described in the project Particulars?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	Are works to existing buildings clearly identified as such?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	Are dimensions given in SI units and is an appropriate scale given?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	Are details of the person responsible for the preparation of the drawings given?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

2025



# National Building Control & Market Surveillance Office

## Commencement Notices

<<Presentation Title>>

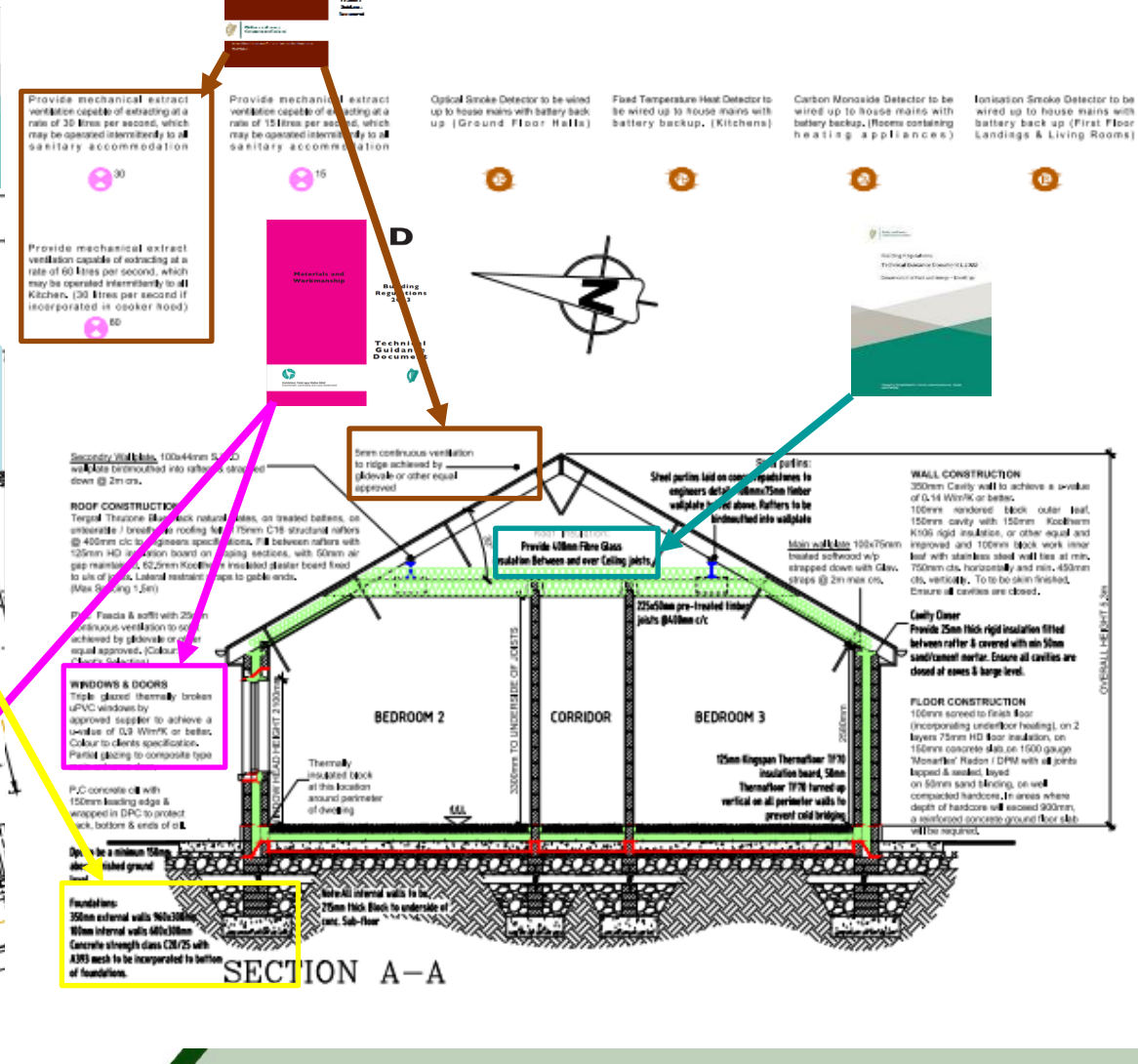
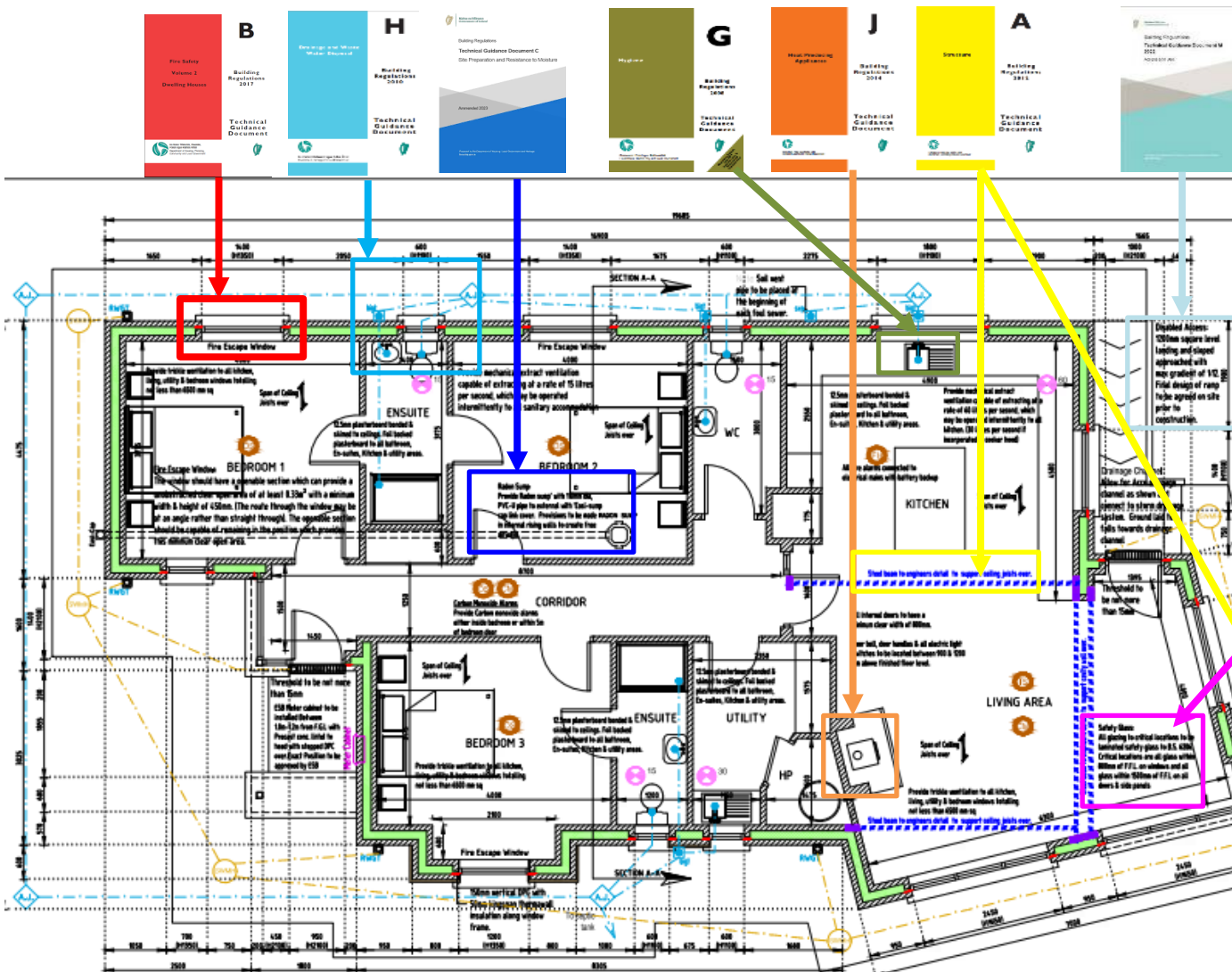
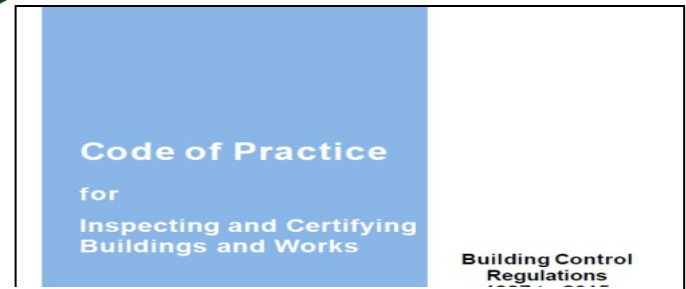




Table B.2 Inspection Plan			
Inspection Stages	Priority elements to be inspected	Frequency of inspection required	Arrangements as implemented
1. Excavation/ Formation	a) Ground bearing suitability	1 No.	To be completed during course of works. (These details will be lodged to accompany the Statutory Certificate of Compliance on Completion)
2. Foundations	a) General arrangement and reinforcement	1 No.	
3. Sub-structure works (including ground floor)	a) Radon membrane, sump/ venting pipe	1 No.	
4. Superstructure (prior to slabbing ceilings)	a) Timber floors b) Insulation c) Roof trusses, bracing, tie down etc.	1 No.	
5. Completion	a) Fire detection system b) Chimneys and flues c) Carbon monoxide detectors d) Ventilation e) Roof covering i.e. nailing/ flashing f) External render	1 No.	

Total No. of Inspections =

5 No.



"Assigned Certifier" means the competent **registered professional person** assigned by the Building Owner to inspect and certify works in accordance with the Building Control Regulations;



"Competent Person": a person is deemed to be a competent person where, having regard to the task he or she is required to perform and taking account of the size and/or complexity of the building or works, the person possesses sufficient training, experience and knowledge appropriate to the nature of the work to be undertaken;

### 3.5 Assigned Certifier's Role

The Assigned Certifier is **assigned by the Building Owner** as required under the Building Control Regulations. **They undertake to inspect, and to co-ordinate** the inspection activities of others during construction, and to certify the building or works on completion. The role of Assigned Certifier does not include responsibility for the supervision of any builder. They may or may not be a member of the design team. The Assigned Certifier should: -







# National Building Control & Market Surveillance Office

## Commencement Notices

Local Authority  
Main st  
Main rd  
Dublin

BCMS  
Building Control Management System

Unique Identifier: 8519316  
(for official use only)

### Notice of assignment of Builder Building Control Acts 1990 AND 2007 (Article 9)

Building Control Authority: Local Authority

1. This notice of assignment relates to the following building or works:  
test extension opt out

2. As the building owner, I have assigned the following person as Builder of the building or works and I am satisfied that they are competent to undertake the works so assigned on my behalf.

Builder's Name: Ms. Jennifer Mills, National

Address: NBCO, Palace street, Dublin, D1

Telephone: 0879932998

Email: j.mills@nbco.gov.ie

Construction Industry Register Ireland Registration N

3. I undertake to notify the Building Control Authority of the building or works as notified herein.

Building Owner's Signature: Ms. Jennifer Mills

Local Authority  
Main st  
Main rd  
Dublin

BCMS  
Building Control Management System

Unique Identifier: 8519315  
(for official use only)

### Notice of Assignment of Assigned Certifier (Notice of Assignment of Person to inspect and certify Works) Building Control Acts 1990 AND 2007 (Article 20A)

Building Control Authority: Local Authority

1. This notice of assignment relates to the following building or works:  
Test

2. As the building owner, I have assigned the following person as Assigned Certifier, being a person named on a register maintained pursuant to Part 3 or Part 5 of the Building Control Act 2007 or Section 7 of the Institution of Civil Engineers of Ireland (Charter Amendment) Act 1969. I am satisfied having regard to the Code of Practice for Inspecting and Certifying Buildings and Works that the person so assigned is competent to inspect the building or works and to coordinate the inspection work undertaken by others, and to certify the building or works for compliance with the requirements of the Second Schedule to the Building Regulations insofar as they apply to the building or works concerned.

4. I undertake to notify the Building Control Authority in writing of any change in the person assigned to inspect and certify the building or works as notified herein.

Building Owner's Signature: Ms. Jennifer Mills Date: \_\_\_\_\_

BCMS  
Building Control M

Unique Identifier: \_\_\_\_\_  
(for official use only)

### Undertaking By Builder - Form of Certificate of Compliance Building Control Acts 1990 AND 2007

Building Control Authority: \_\_\_\_\_

1. This certificate relates to the following building or works:

2. I confirm that I have been commissioned by the building owner to undertake the works concerned. I further ensure that any persons employed or engaged by me to undertake any of the work competent to undertake such works.

3. I undertake to construct the building or works in accordance with the specifications, ancillary certificates and particulars listed in the schedule to this Notice to which this undertaking refers and certified under the Form of Certificate (Design) or as subsequently issued to me and certified and submitted to the Authority, and such other documents relevant to compliance with the requirements of the Second Schedule to the Building Regulations as shall be retained by me as outlined in the for Inspecting and Certifying Buildings and Works.

4. Having regard to the Code of Practice for Inspecting and Certifying Buildings and Works, I further undertake to cooperate with the inspections set out in the prepared by the Assigned Certifier and to take all reasonable steps so as to ensure that the works or building is in compliance with the requirements of the Second Building Regulations insofar as they apply to the building or works concerned.

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

(to be signed by a Principal or Director of a building company only)

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_

Email: \_\_\_\_\_

Construction Industry Register Ireland Registration No (where applicable): \_\_\_\_\_

BCMS  
Building Control Management System

Unique Identifier: \_\_\_\_\_  
(for official use only)

### Undertaking By Assigned Certifier - Form of Certificate of Compliance Building Control Acts 1990 AND 2007 (Article 9)

Building Control Authority: \_\_\_\_\_

1. This certificate relates to the following building or works:

2. In accordance with the Code of Practice for Inspecting and Certifying Buildings and Works, or equivalent, I undertake to use reasonable skill, care and diligence, to inspect the building or works and to coordinate the inspection work of others and to certify, following the implementation of the inspection plan by myself and others, for compliance with the requirements of the Second Schedule to the Building Regulations insofar as they apply to the building or works to which the accompanying Commencement Notice together with the plans, calculations, specifications, ancillary certificates and particulars listed in the schedule thereto refer.

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Person's name: \_\_\_\_\_ Registration no: \_\_\_\_\_

On behalf of: \_\_\_\_\_ (Company name where relevant)

Address: \_\_\_\_\_

Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_

Email: \_\_\_\_\_

Practice Registration No (where relevant): \_\_\_\_\_

**BCMS**  
 Building Control Management System

Unique Identifier: \_\_\_\_\_ (For official use only)

---

**Design Certificate - Form of Certificate of Compliance (Design)**  
Building Control Acts 1990 AND 2007
**(Article 9)**

---

Building Control Authority: \_\_\_\_\_

1. This certificate relates to the following building or works:

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

2. This certificate has been prepared in accordance with the Code of Practice for Inspecting and Certifying Buildings and Works (as published by the Minister under section 3(7) of the Building Control Act 1990) or equivalent.

3. I confirm that I have been commissioned by the building owner to design, in conjunction with others, the building or works described above and to certify such design. I further confirm that I am a person named on a register maintained pursuant to Part 3 or Part 5 of the Building Control Act 2007 or Section 7 of the Institution of Civil Engineers of Ireland (Charter Amendment) Act 1969 and that I am competent to carry out my design and to coordinate the design of others for the building or works concerned.

4. I confirm that the plans, calculations, specifications, ancillary certificates and particulars included in the schedule to the Commencement Notice to which this certificate is relevant, and which have been prepared exercising reasonable skill, care and diligence by me, and by other members of the design team and specialist designers whose design activities I have coordinated, have been prepared to demonstrate compliance with the requirements of the Second Schedule to the Building Regulations insofar as they apply to the building or works concerned.

5. I certify, having exercised reasonable skill, care and diligence, that, having regard to the plans, calculations, specifications and particulars which have been prepared by me and others and having relied on ancillary certificates and particulars referred to at 4 above, the proposed design for the building or works is in compliance with the requirements of the Second Schedule to the Building Regulations insofar as they apply to the building or works concerned.

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Person's Name: \_\_\_\_\_ Registration No.: \_\_\_\_\_

On behalf of: \_\_\_\_\_ (company name where relevant)

Address: \_\_\_\_\_

Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_

Email: \_\_\_\_\_

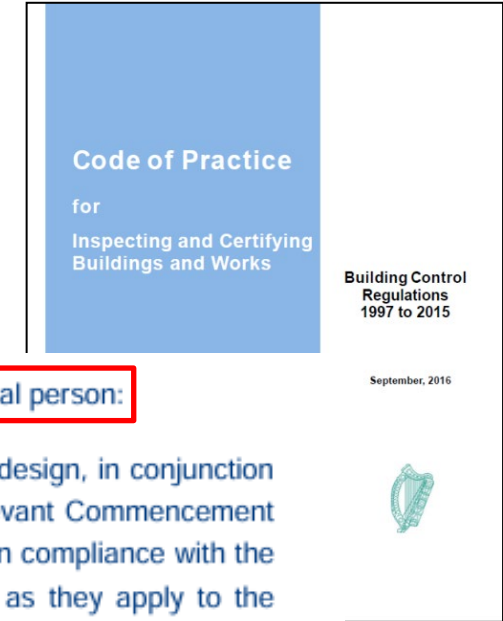
Practice registration number: (where relevant): \_\_\_\_\_



"Design Certifier" means the competent, registered professional person:

- who has been commissioned by the Building Owner to design, in conjunction with others, the building or works described in the relevant Commencement Notice (or 7 Day Notice), and to certify such design is in compliance with the Second Schedule to the Building Regulations insofar as they apply to the building or works concerned, and
- who confirms that the documentation included in the schedule to the Commencement Notice (or 7 Day Notice) which has been prepared by him/ her, other members of the design team and specialist designers whose design activities he/ she has coordinated, has been prepared to demonstrate such compliance.

"Design" Has the meaning assigned to it in the Act of 1990 and includes the preparation of plans, particulars, drawings, specifications, calculations and other expressions of purpose according to which the Construction, extension, alteration, repair or renewal concerned is to be executed and "designed" will be construed accordingly;





✔ Project Particulars

✔ Online Assessment

✔ Phasing

✔ Nominate Roles

✔ Statutory Forms

✔ Payment

✖ Validation



Project Particulars	Yes	No	
Has the correct Notice been submitted.			
For CN with Opt Out or 7 DN is signed Statutory Declaration provided			
Has the correct Local Authority been selected for the address/eircode			
Is commencement date correct (within 14-28 or 7 days) as appropriate			
Has an end date been given			
Is Planning Permission reference valid with date of grant & expiry completed where required.			
Does project name identify works clearly & concisely without personal details			
Is the description complete, referencing Construction, Use, Type and quantity of new/existing buildings or part thereof & relevant Phase where appropriate (cross check online assessment & phasing tabs) & excluding personal details.			
Does activity type(s) selected match description of the proposed development			
Have the number of New and existing buildings been provided			
For Extension/Material change of use/Material alter. has the Eircode been provided			
Online Assessment 9(1)(b)(i)(iii)			
Has an <b>online assessment</b> been completed for each building type referred to in the description of the proposed development in the Project Particulars			
For each Building type is name/description clear and unique			
Has the correct purpose group & subgroup been selected			
For works to protected structure has reference number been provided			
Where provided is FSC number valid and related to works. (A valid FSC application is required for 7 Day notice)			
Where provided is DAC number valid and related to works			
Does the total number of buildings match that in the Project Particulars			
Phasing			
Where there is more than one phase does the number of dwellings for this phase match the quantity in the Project Particulars and Online assessment			
Nominate Roles			
Are the people nominated qualified for their role with registration numbers & contact details provided in full, where necessary			

Statutory Documents 9(1)(b)(i) & (ii)			
Are all <b>Certificates &amp; Notices(ii) (I-V)</b> uploaded under the correct heading			
Is the Unique Identifier No correct on all documents			
Have all pages of each document been uploaded			
Are all fields digitally complete with correct contact details & qualifications			
Have certificates & notices been signed and dated by the individuals (not company or other names) who have Accepted Nominate Roles			
Does commencement date on Notice match that in Project Particulars			
Is <b>Preliminary Inspection plan (IV)</b> sufficiently detailed for complexity of works			
Is <b>Schedule of Documents (II)</b> sufficient for complexity of works & including future Design details			
Supporting Documents			
Have the required number and variety of documents been uploaded			
Are <b>drawings (i)(I)</b> detailed for Building Control purposes, comprehensively identifying the works and those who have prepared them, (& all Building types) in Plans Sections & Elevations to a scale & with detail that could enable a technical assessment.			
Are <b>Particulars/specifications/calculations</b> specific to the works			
Payment (Part V)			
Has the correct <b>fee</b> been paid or has a receipt or Request for Exemption form been uploaded.			

1. **Valid** - Notify compliance under Article 10(2),
2. **Invalidate** – Notify under Article 10(3)(a) and return fee and original documents under 10(4) or
3. Request submission of **information or fee** under Article 10(3)(b)



### SEPTEMBER 2025

SUN	MON	TUE	WED	THU	FRI	SAT
	1 Give Notice (BCMS)	2	3	4	5	6
7	8 Latest date to Notify*	9	10	11	12	13
14	15 Commence Day 14 minimum	16	17	18	19	20
21	22	23	24	25	26	27
28	29 Commence Day 28 maximum	30				

### National Building Control and Market Surveillance Office

English | Gael

Home > Search the full Statutory Register

### Search the full Statutory Register

Use the tabs below to create and/or view your Notices and/or Certificates.

My Dashboard

My Details

My Notices  
+ New notice

My Applications  
(Beta mode)  
+ New Application

My Certificates  
+ New certificate

Search the full  
Statutory Register

Logout

Search within the statutory register

Commencement Notice With Compliance Documental

Enter search word

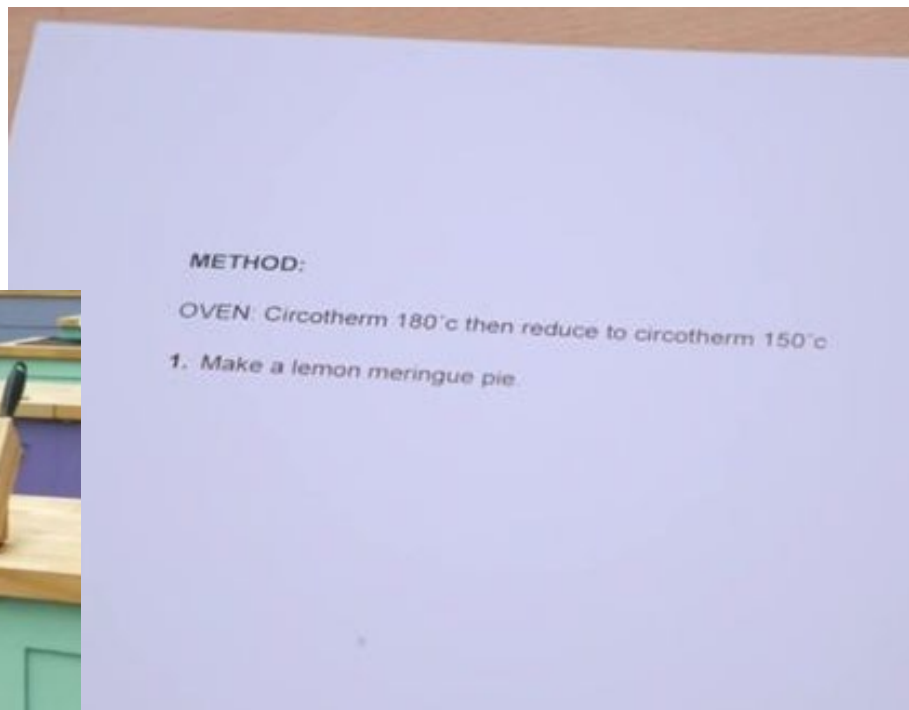
\* 12 days to Notify if a notice is received in writing



- GET PLANNING PERMISSION
- BUILD

### FAIL TO PREPARE

### PREPARE TO FAIL



### 3.6. Role of Building Control Authority


It is expected that Building Control Authorities will undertake an appropriate level of **assessment and inspection** informed by the risk analysis of Commencement Notices submitted via the Building Control Management System, thereby ensuring that available inspection resources are targeted towards projects carrying the greatest risks. Inspections by Building Control Authorities are undertaken in the interests of public safety and law enforcement.

This does not relieve building owners, builders, designers or assigned certifiers of their statutory obligations to build and construct in compliance with the requirements of the Building Regulations and to demonstrate through inspection, certification and lodgement of documentation how compliance has been achieved in practice.

### 5. Technical Assessment

This applies to oversight carried out by designated Building Control “Authorised Persons” post-commencement and **during the construction process**. The frequency of inspections to be carried out on a particular development should be determined by the **Risk Assessment** process. Appendix VI details a standard inspection form.

Technical Assessment may include such **requests**, as considered appropriate to each circumstance, to furnish drawings and documentation, in addition to the General Arrangement Drawings that were required to be submitted as part of the application for Commencement, and referred to as part of the **Schedule of Documentation** upon which reliance is placed in support of compliance of designs. In this regard it may be appropriate to request the **updating of this documentation** to include such changes as may have occurred subsequent to Commencement.

Key Milestone	Review of documentation submitted (or to be submitted) at CN stage	Notes
	j) Other relevant items <ul style="list-style-type: none"> <li>• .....</li> <li>• .....</li> </ul>	
5. Superstructure (prior to slabbing ceilings)	a) Wall construction type <ul style="list-style-type: none"> <li>• Masonry units e.g. block/ bricks etc</li> <li>• Movement joints</li> <li>• Wall ties</li> <li>• Wall insulation (Thickness and type)</li> <li>• Thermal bridging (Conforms with design details)</li> <li>• Sound requirements e.g. separating wall type &amp; flanking provision</li> </ul> b) Cills & lintels incl. DPC & bearing c) Upper floor level (if any) e.g. <ul style="list-style-type: none"> <li>• floor joist span (allowable)</li> <li>• timber grade/mark</li> <li>• joist hangers</li> <li>• noggins &amp; straps</li> </ul> d) Wall-plate & tie down straps e) Chimney/ Flue liners/ gather f) Roof structure (Prefabricated) e.g. <ul style="list-style-type: none"> <li>• truss tag/mark</li> <li>• bracing/ hangers &amp; shoes</li> </ul> g) Roof structure (Cut) e.g. <ul style="list-style-type: none"> <li>• purlins &amp; Struts</li> <li>• collar ties</li> <li>• hangers &amp; runners</li> <li>• battens</li> <li>• timber grade/mark</li> </ul> h) Roof covering e.g. <ul style="list-style-type: none"> <li>• battens</li> <li>• felt type &amp; laps</li> <li>• tile/slate &amp; nailing</li> <li>• flashings</li> </ul>	



### Section 11

### Powers of Inspection by Authorised persons.

- (1) “**authorised person**” means a person authorised for the purposes of this Act by a building control authority or by the Minister, or by An Bord Pleanála, as the case may be.
- (2) Subject to subsection (7), any authorised person shall be entitled to enter at all reasonable times into any land (subject to his producing, if so required, his authority in writing as such person) and thereon **inspect for the purposes of this Act any building, and any plans or documents** relating to such building.
- (3) Any authorised person may—
- (a) inspect any building—
    - (i) **following its completion**, or
    - (ii) **during its construction**, alteration or extension, or
    - (iii) during the installation therein of any fittings, services or equipment to which building regulations apply, or
    - (iv) in respect of which any material change takes place in the purposes for which such building is used;
  - (b) **require to be informed by the owner or occupier** of such a building, or by any person responsible for the construction of such a building, or by any of the aforementioned persons, to the extent that such persons have knowledge of the matters in question, as to the purpose for which the building, or any part thereof, has been, is being, or will be, used, the number of persons who are, or will be, employed or accommodated therein or who resort or will resort thereto, the substance of which any such building or any part of such building is constructed, and the method of construction employed and as to any other matter which the authorised person considers to be relevant;
  - (c) **require the owner or occupier** of the building, **or any person responsible for the construction** of the building, to provide such plans, documents and information as are necessary **to establish whether the requirements of building regulations are being complied with in relation to the building;**
  - (d) be **permitted to take such samples of the materials** used in the carrying out of any construction work or take such other action in relation to such construction work as may be necessary to establish whether the requirements of building regulations are being complied with in relation to the building.





### BUILDING CONTROL REGULATIONS 1997 – 2024

### PART IIIC

#### Certificate of Compliance on Completion

**20F.** (1) Subject to *paragraph (2)*, a Certificate of Compliance on Completion shall be submitted to a building control authority and relevant particulars thereof shall be included on the register maintained under *Part IV* before works or a building to which *Part II* or *Part IIIA* applies may be opened, occupied or used.

(3) A Certificate of Compliance on Completion shall be –

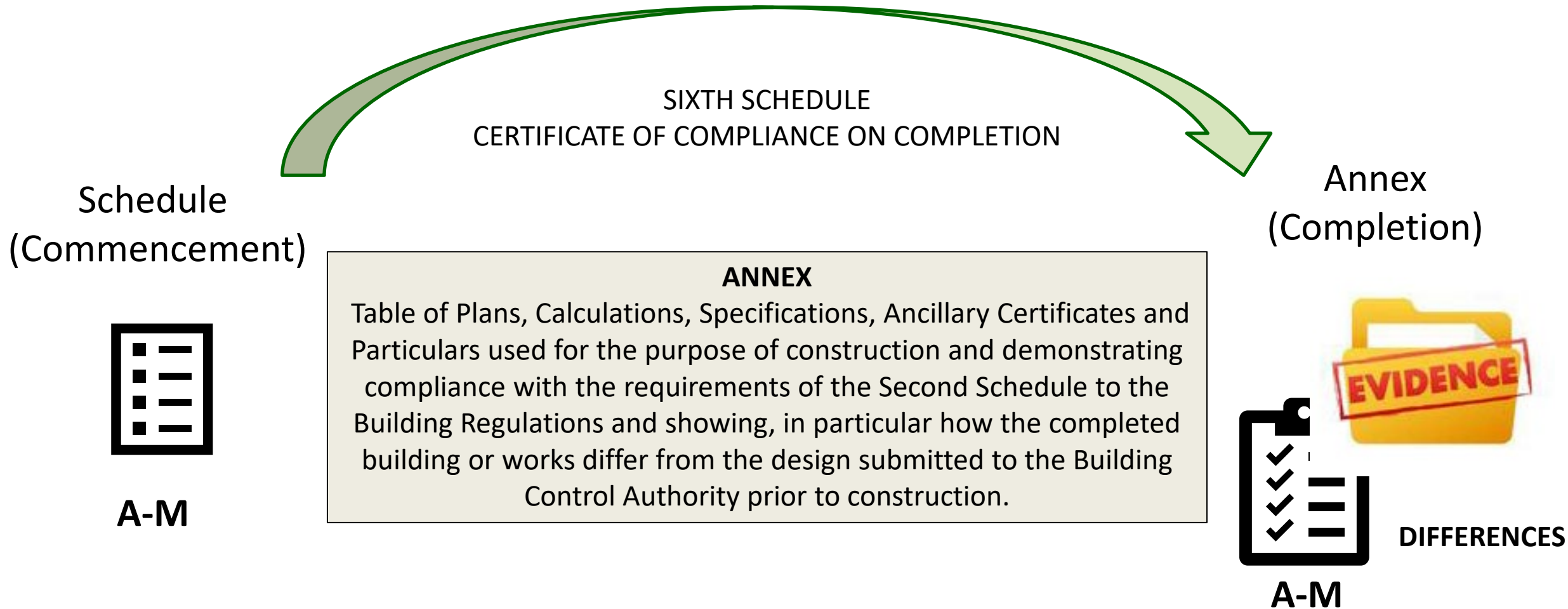
(a) in the form specified for that purpose in the Sixth Schedule, and

(b) **accompanied** by such **plans, calculations, specifications and particulars** as are necessary to **outline how** the works or building as completed—

(i) **Differs** from the plans, calculations, specifications and particulars submitted for the purposes of Article 9(1)(b)(i) or Article 20A(2)(a)(ii) as appropriate (**to be listed and included at the Annex** to the Certificate of Compliance on Completion), **and**

(ii) **complies with the requirements of the Second Schedule to the Building Regulations**, and

(c) accompanied by **the Inspection Plan as implemented** by the Assigned Certifier in accordance with the Code of Practice referred to under Article 20G(1) or a suitable equivalent





- COMPLIANCE
- Appoint Competent Persons
- Design
- Construct
- Inspect
- Certify

### Ingredients

#### SPONGE

125g (4oz) self raising flour  
125g (4oz) sugar  
125g (4oz) softened butter  
2 large eggs  
1 tsp baking powder  
1 tsp vanilla extract

#### FILLING

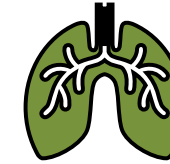
strawberry jam (any flavour will do)  
buttercream or whipped cream

#### TOPPING

glace icing  
glace cherries (or something that works well with chosen jam)

### Instructions

1. Pre-heat oven to 180oC and line 2 x 7 inch cake tin bases with greaseproof paper
2. Put all sponge ingredients into a bowl and whisk together until lump free
3. Divide cake mixture equally between the two tins and bake in oven for 20 mins (or until a skew comes out clean)
4. Leave on a cooling rack to cool completely before removing from there tins
5. Assemble your cake by sandwiching together with buttercream/ whipped cream and chosen jam
6. Finish by pouring over the glace icing and topping off with a few glace cherries or other chosen fruit
7. Store in an air tight container and consume within 3-4 days



**HEALTH**



**SAFETY**



**WELFARE**







# National Building Control & Market Surveillance Office

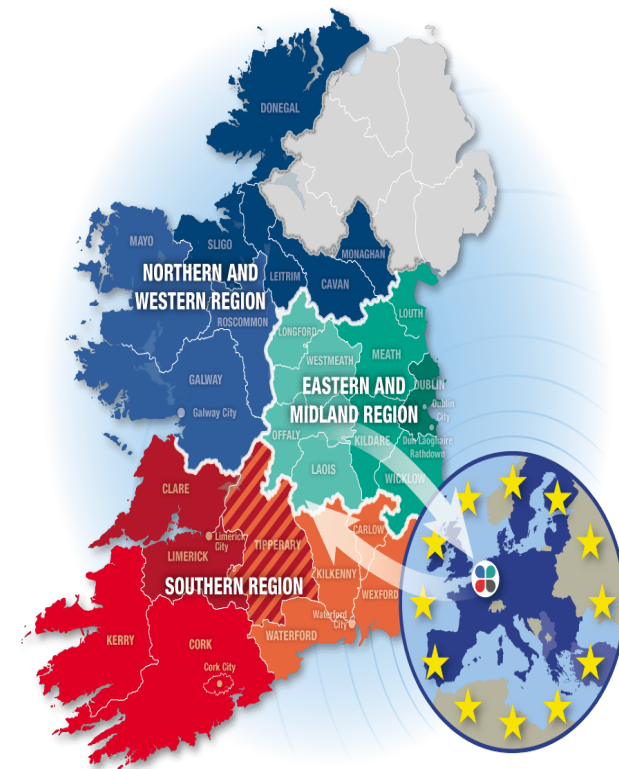
## Commencement Notices



An Oifig Náisiúnta um Rialú Foirgníochta  
NATIONAL BUILDING CONTROL OFFICE



*GO RAIBH  
MAITH AGAIBH*



[Building Control Management System](#)

[National Building Control Office](#)

## National Building Control and Market Surveillance Office

English Gaelige

Welcome to the Building Control Management System (BCMS)

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National Market Surveillance Office

National Building Control Office



**Our goal is to promote  
Compliance with the  
Building Regulations**