



Building Control Administration (Regulations)

Commencement Notices Getting it Right First Time

**Talbot Hotel, Clonmel, Co. Tipperary
15th of November 2023**

**Douglas Ritchie BSc Building Surveying,
Registered Building Surveyor, MCIQB,
Building Control & Technical Manager
HomeBond Building Control Ltd**





Preview



Topic

HomeBond Building Control Ltd

BCMS - System Data Requirements

Design Check and Building Regulations

BCMS Automated Emails per CN Submission

Inspection Plan

Annex of Drawings

CN Drawings

BCMS - CN Related Learnings



HomeBond Building Control Ltd



- Established in 2014
- Nationwide Building Control Services for AC/DC
- Complementary Services provided:
 - DEAP Calculations
 - Latent Defects Insurance
 - Final BER's
 - Airtightness Testing
 - Ventilation Validation Certification
 - Training & Technical Support
- 2022 - 49No. CN - 1156 dwelling units
- 2022 - 311No. CCC - 1211 dwelling units






BCMS-System Data Requirements

Simple form sent to Building Owner, requesting data to set up BCMS Submission

HomeBond Building Control Ltd

BCMS – System Data Requirements



1 Homebond Building Control Ltd - Project -

1. Introduction

The Building Control (Amendment) Regulations 2014 states that a Commencement Notice should be applied for online using the Building Control Management System (BCMS). This document is providing supporting information which will be required to progress the commencement process.

2. BCMS Basic Overview

In order to lodge a commencement notice via the BCMS program the following are the main steps required:

Step 1. Registration. All 4 parties (Owner, Builder, Designer, Assigned Certifier) should create and complete a customer account on the BCMS website.

Step 2. Select type of Notice required. - Commencement Notice or 7 day notice

Step 3. Completion of the initial project assessment - Enter details of the proposed development.

Step 4. Nominate Roles - Assign the 4 parties to the notice. (Each party must log on to accept their role when requested)

Step 5. Project assessment. - Input details for the individual building(s) covered by the notice. BCMS can then automatically pre-populate the statutory forms for you.

Step 6. Upload Statutory Documents. - Print, sign, scan and upload the pre-populated forms.

Step 7. Upload Supporting Documents. - upload the other required supporting documents.

Step 8. Payment & Submission. - the notice can only be submitted once each tab is complete and marked with a green 'v' symbol - The fee is generally €30 per building. You will be notified by email if your Notice has been validated & placed on the statutory Register. Works may then commence on the nominated commencement date specified in the Notice form.

Supporting Documents -

- All files uploaded must be in PDF format. Files should not exceed 8MB
- To help ensure that you upload all required documents correctly, we would strongly advise that each file should be given a name which helps to identify it at a glance. The File name should include (a) the document type, and (b) your project reference number. Example: Ground Floor Plan_rev1_ref100-23.pdf

Complete the appropriate sections

3. Key Project and Application Details 3.1.

Application Details	
Applicant Details	Building Owner Details
Building Owner	
Contract Person	
Address	
Telephone	
Fax	
Email	
Has the owner registered with the BCMS?	

3 Homebond Building Control Ltd - Project -

3.2. Project Details

Project Details		Details for BCMS Application	
Local Authority			
Planning permission No. (Attach a copy with this form if one)			
Date granted			
Date of expiry			
Project Name			
Description		Please Complete Project Description Below	
Total No. of Phases			
Total No. of Dwellings (All Phases)			
Phase for this Notice			
No. of Units for this Phase			
Location of development			
Street			
Town			
County			
Easting			
Northing			
Has a previous commencement notice been submitted under this planning number	Details:		

3.3 Project Description

Project Description

3.4. Summary of Project Particulars

Summary of Project Particulars		Project Particulars	
Purpose Group			
Sub Group			
Construction Type			
Project Type			
Phase for this Notice			
Number of Stories			
Height			
FSC (Fire Safety Certificate) <small>(where applicable)</small>			
DAC (Disability Access Certificate) <small>(where applicable)</small>			
Quantity			
Material Alteration Works			
Material Change of Use			
Use of Building			

4 Homebond Building Control Ltd - Project -



Design Check with Building Regulations

- List of Building Regulations from the Code of Practice 2016
- Does the Building Regulation apply to the project?
- Assign design duties for each relevant Regulation-Design Matrix Required
- Building Control Risk Guide since 2014-updated quarterly

Building Control Risk Guide

Ref	Stage	Notes/Comment
1	Pre-Construction/Design	Preparation of fully designed construction drawings showing compliance with all elements of the Building Regulations (45 Parts A1 - 464 listed in Tab 2); site developments works incl. Boundary walls, Ancillary Design Certification + competency, Eurocodes, wind-driven rain exposure, wind speeds.
2		Full geotechnical site investigation by specialists, including flood risks.
3		Mechanical and electrical design + preparation of construction drawings. Design for solar panel installations, heat pumps, boiler & fuel storage, water quality.
4		SEAP calculations showing compliance with Part L 2022. Life cycle analysis, + S1, 4 (2019) Part L, 4 (2019) + S1, 4 (2019) + S1, 4 (2019).
5		3D Thermal modelling of junctions if construction details not per Appendix D TGD 2022 - significant extra design cost + if changes made on-site afterwards. Surface condensation and interstitial condensation check as per Part 1.
8		Construction Products Regulation 305/2011 - CE marking, Declaration of Performance, European Technical Approvals, site compliance person.
7		Certification of construction of site development works and boundary walls.
8		Compliance with Regulation B3 Access & facilities for the fire service.
9		Fencing of water quality to enable design of mechanical systems.
10		Preparation of Commencement Notice data and application process to the BCMA.
11		Measurement of compliance of sub-contractors + insurance.
12		Completion of Site Registration Proposal Form (SRPF). Completion of Homebond OIA for latent Defects Insurance.
13		Double units - design responsibility for Part B, Part E, Part M, security, external lighting.
14		Third party structural design review on complex buildings.
15	Foundation	Use of reinforcement to strip foundations, concrete bedding.
16		Spec, ordering and placing of the correct concrete mix, higher strengths reqd.
17		Site testing of concrete mix to confirm slump, independent concrete cube tests.
18		Adhere to weather conditions, increased site coordination, inspection notification.
19		Design of foundation to include connection for ground slab, where required.
20	Ground Floor / Sub-structure	Provision of support above all service openings in blockwork, insulation of water supply pipe, masonry curing / development of strength before backfilling.
21		Where blocks required to ensure correct curing and bonding, Are the blocks suitable for the ground conditions? AS per S815:11.5N
22		Provision of medium and low density blocks to comply with thermal bridging requirements Part L 2022.
23		Quality control of site batched mortars, method statement for site personnel.
24		SR certified radon barrier, dpm, radon sump + installation to be certified.
25		SR 21 Annex 2 2016 stone fill, correct compaction to MS88, traceability on site, 3rd party testing - Geocent required by solutions, 12 layer 200mm @ at the radon sump level.
26		All internal walls to be constructed passing through the ground bearing floor slab, with provision for cold bridging details. Minimum ACP requirement.
27		Anti crack mesh reinforcement to ground bearing slab, control joints at door openings, extra thickness edge insulation, hot cold weather.

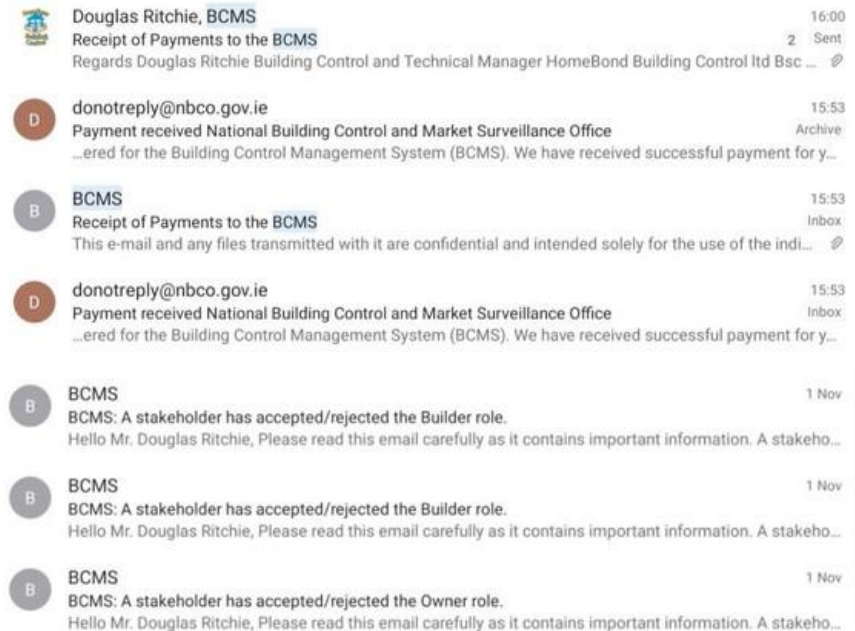
	Elemental Design Risk Assessment	Does Reg Apply to Project	Lead Designer	Ancillary Designer	Contractor
001	Description				
01					
01.1	Loading				
02	Ground movement				
03	Temperature/seasonal collapse				
04	Part B - Fire Safety				
05	Means of Escape				
06	Internal Fire Spread - Structure				
07	Internal Fire Spread - Contents				
08	External Fire Spread				
09	Access and facilities for the fire services				
10	Means of warning and escape in case of fire				
11	Internal fire spread (Structs)				
12	Internal fire spread (Structures)				
13	External fire spread				
14	Access and facilities for the fire service				
15	Defences for this Part				
16	Part C - Site Preparation & Resistance to Moisture				
17	Preparation of Site				
18	Subsoil Drainage				
19	Seepage/Subsidence				
20	Resistance to weather and ground moisture				
21	Part D - Materials and Workmanship				
22	Materials and Workmanship				
23	Part E - Sound				
24	Airborne sound (walls)				
25	Airborne sound (floors)				
26	Impact sound (floors)				
27	Part F - Ventilation				
28	Means of Ventilation				
29	Condensation in Walls				
30	Part G - Hygiene				
31	Bathrooms and Kitchens				
32	Sanitary Conveniences and Washing Facilities				
33	Part H - Drainage and Waste Disposal				
34	Drainage System				
35	Septic Tanks				
36	Part J - Heat Producing Appliances 2014				
37	Air Supply				
38	Discharge of products of Combustion				
39	Provision of Building				
40	Provision of information				



BCMS Automated Emails per CN Submission

When Acting as AC&DC

- 7no. @ stakeholder roles accepted/rejected
- 4no. @ receipt of Payment
- 2no. @ Building Project Valid
- 13no. Minimum Emails per CN Submission



Inspection Plan

Code of Practice Table C1 Inspection Plan Template



Code of Practice
 for
Inspecting and Certifying Buildings and Works

Building Control Regulations 1997 to 2015

September, 2016

	House No & Address	Foundations	Ground Floor	Timber frame etc	Joint Level	Roof Construction	Set Fire Internal	Completion
1	43 Cloon Rd	16/11/2015	20/04/2015	N/A	16/11/2015	16/08/2015	18/09/2015	18/11/2015
2	43 Cloon Rd	16/11/2015	20/04/2015	N/A	16/11/2015	16/08/2015	18/09/2015	18/11/2015
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Inspection Notification Framework
 Inspection requests to be submitted to Conor Kavanagh HomeBond, by email to ckavanagh@homebond.ie
 A period of 3 days notice needs to be requested
 Responsible, skill, care and diligence has been exercised inspecting the works on the given date in so far as is practicable
 Signed: *Conor R. Kavanagh*
 Date: 20/11/2015

Table C.1 Inspection Template for a Detached Non-Complex Dwelling House relevant to Commencement Notice No: _____			
Inspection Stage	Elements for inspection	Builder Supervise ALL elements as work progresses	Assigned Certifier Check priority elements as identified in the Preliminary Inspection Plan (See Appendix B) and other appropriate checks as deemed necessary
1. Excavation/ Formation	a) Ground bearing suitability b) General arrangement of foundation c) Width of trench d) Depth below ground e) Steps in formation level (if any) f) Other relevant items	✓	✓
2. Foundations	a) General arrangement of foundation b) Depth and width of concrete c) Reinforcing steel d) Other relevant items		
3. Sub-structure works (including ground floor)	a) Rising walls (external and internal) b) DPC c) Hardcore d) Under floor services e) Radon sump/venting pipe f) DPM or Radon Barrier (incl. seals) g) Ventilated sub-floor (if any) h) Floor insulation – thickness/ type i) Floor structure e.g. • concrete ground bearing • concrete/ timber suspended j) Other relevant items		

Preliminary Inspection Plan				
House No(s)	43 & 45 Cloon Rd, Garrygl, Cloon, Co. Carlow	Commencement Notice Reference	CN0627754CW	
Inspection Stage	Priority regulations	Number advised of any issues observed (if any)	Inspection by HBC (S) / (F) / (C)	Notes/Comments
1. Foundations	Part 4 Regulations requirements	0	0	
	Part 5 Regulations requirements	0	0	
	Part 6 Regulations requirements	0	0	
2. Ground Floor	Part 4 Regulations requirements	0	0	
	Part 5 Regulations requirements	0	0	
	Part 6 Regulations requirements	0	0	
	Part 7 Regulations requirements	0	0	
	Part 8 Regulations requirements	0	0	
	Part 9 Regulations requirements	0	0	
3. Timber frame etc / Wall Floor Sills	Part 4 Regulations requirements	0	0	
	Part 5 Regulations requirements	0	0	
	Part 6 Regulations requirements	0	0	
	Part 7 Regulations requirements	0	0	
	Part 8 Regulations requirements	0	0	
	Part 9 Regulations requirements	0	0	
4. Roof Construction	Part 4 Regulations requirements	0	0	
	Part 5 Regulations requirements	0	0	
	Part 6 Regulations requirements	0	0	
	Part 7 Regulations requirements	0	0	
	Part 8 Regulations requirements	0	0	
	Part 9 Regulations requirements	0	0	



Annex of Documents

Schedule of Documents(Plans, Calculations, Specifications, Ancillary Certificates & Particulars)- Schedule that may be relied on during process to demonstrate compliance with Building Regulations.

All or some of these documents may be requested by the Building Control Authority

Schedule of Documents		
Reference	Document	Description/ Remark
DEAP Cal 8349867 - 001	DEAP Calculations – Part L Compliance	Attached
INSP Plan 8349867 - 002	Preliminary Inspection Plan	Attached
Ground Floor Plan 8349867 - 003	Ground Floor Plan Drawing	Attached
First Floor Plan 8349867 - 004	First Floor Plan Drawings	Attached
Elevations 8349867 - 005	Elevation Drawings	Attached
Sections 8349867 - 006	Section Drawings	Attached
Site Plan 8349867 - 007	Site Layout Drawing	Attached

Decorative graphic in the top left corner consisting of three overlapping hexagons: a yellow one on top, a blue one on the left, and a dark blue one on the right.

CN Drawings

- ◆ Compliance Report based on Building Regulations A - M 1997 - 2014:

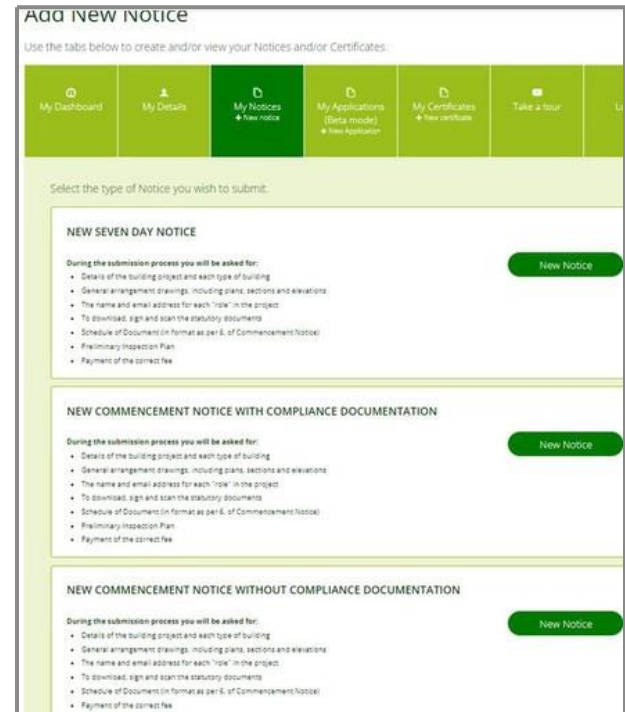
Including any calculations/specifications which cannot be visually demonstrated on a plan drawing e.g. ventilation calculations, requirements for discharge pipes, required distances between drainage access points, height of electrical fixtures, heating appliance specifications, etc.

- ◆ Site Location plan at a scale of 1:1000/1:2500
- ◆ Floor Plans (each floor separately) at a scale of 1:100
- ◆ Elevations (each elevation) at a scale of 1:100
- ◆ Sections (long & cross sections) at a scale of 1:100
- ◆ Foundation details at a scale of 1:50
- ◆ Ground floor plate details at a scale of 1:50
- ◆ First & subsequent floor plate details at a scale of 1:50
- ◆ External wall details at a scale of 1:50
- ◆ Surface & foul wastewater plans & sections
- ◆ Structural calculations
- ◆ Roof plan & sections
- ◆ DEAP Calculations
- ◆ Details relating to any gas/heat installation
- ◆ Details relating to the electrical installation
- ◆ Details relating to construction products
- ◆ Any site investigation reports



BCMS – CN Related Learnings

- The AC initiates a c/notice by making a new entry by signing into the BCMS system.
- Normally, the option “new c/notice with compliance documentation” option is used.
- Similarly, a new 7 day notice may be created before an FSC has been granted. The FSC application no. will be required for 7 day notice submission.

The screenshot shows a web interface titled "Add New Notice". At the top, it says "Use the tabs below to create and/or view your Notices and/or Certificates:". Below this is a navigation bar with several tabs: "My Dashboard", "My Details", "My Notices (New notice)", "My Applications (Beta mode) (New Application)", "My Certificates (New Certificate)", and "Take a tour". The "My Notices" tab is currently selected. Below the navigation bar, there is a heading "Select the type of Notice you wish to submit." followed by three options, each with a "New Notice" button:

- NEW SEVEN DAY NOTICE**: During the submission process you will be asked for:
 - Details of the building project and each type of building
 - General arrangement drawings, including plans, sections and elevations
 - The name and email address for each 'role' in the project
 - To download, sign and scan the statutory documents
 - Schedule of Documents (in format as per 6. of Commencement Notice)
 - Preliminary Inspection Plan
 - Payment of the correct fee
- NEW COMMENCEMENT NOTICE WITH COMPLIANCE DOCUMENTATION**: During the submission process you will be asked for:
 - Details of the building project and each type of building
 - General arrangement drawings, including plans, sections and elevations
 - The name and email address for each 'role' in the project
 - To download, sign and scan the statutory documents
 - Schedule of Documents (in format as per 6. of Commencement Notice)
 - Preliminary Inspection Plan
 - Payment of the correct fee
- NEW COMMENCEMENT NOTICE WITHOUT COMPLIANCE DOCUMENTATION**: During the submission process you will be asked for:
 - Details of the building project and each type of building
 - General arrangement drawings, including plans, sections and elevations
 - The name and email address for each 'role' in the project
 - To download, sign and scan the statutory documents
 - Schedule of Documents (in format as per 6. of Commencement Notice)
 - Payment of the correct fee



BCMS – CN Related Learnings

- Once a c/notice submission is initiated, use the 7 tabs to enter required information and make payment. All tabs must be completed

Use the tabs below to create and/or view your Notices and/or Certificates.

The screenshot displays a user interface with a row of seven green navigation tabs. The 'My Notices' tab is highlighted in a darker green and includes a '+ New notice' link. Below the tabs is a progress bar with seven items, each with a checkmark or a red dot indicating its status:

Item	Status
Project Particulars	Completed (checkmark)
Online Assessment	Completed (checkmark)
Phasing	Completed (checkmark)
Nominate Roles	Completed (checkmark)
Statutory Documents	Completed (checkmark)
Supporting Documents	Completed (checkmark)
Payment	Pending (red dot)

BCMS – CN Related Learnings

The screenshot shows a web form titled 'New Commencement Notice'. At the top, it says 'Use the tabs below to create and/or view your Notices and/or Certificates.' Below this is a progress bar with 'Start' and 'Complete' markers. The main heading is 'New Commencement Notice' followed by the instruction 'Please complete all details below and select "Save" below to begin your CN application.' The form fields include: 'Local Authority*' (a dropdown menu with '- Select -'), 'Commencement Date*' (a date input field), 'Proposed end date for this phase*' (a date input field), 'Is planning permission required for these works?*' (a dropdown menu with '- Select -'), 'Project Name*' (a text input field), 'Activity Type*' (a dropdown menu with '- None -'), and 'Description of proposed development*' (a large text area). Each field has a green checkmark icon to its right, indicating it is required or has been validated.

- Pay attention to name of local authority on planning permission granted eg Cork County/Cork City; Fingal/DCC/SDCC/DLR
- Proposed commencement date must be no less than 14 days and no more than 28 days from date of entry. Allow a day or 2 for return of signed forms from assigned parties, and receipt of outstanding supporting documentation. Typically, enter a commencement date of 16 days from today's date to allow time for return of outstanding documentation prior to making submission.
- For 7 day notices, a FSC application number will need to be entered. Proposed commencement date must be no less than 7 days from date of entry.

BCMS – CN Related Learnings



CORK COUNTY COUNCIL
Planning & Development Acts 2000 – 2010 as amended

Planning Register :

Application by:

Of:

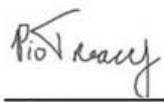
On: 03/06/2021 and 06/08/2021

For: The construction of 98 no. dwelling houses and all ancillary site development works. The proposed development consists of the construction of 4 no. 5 bedroom detached dwelling houses, 5 no. 4 bedroom detached dwelling houses, 12 no. 4 bedroom semi-detached dwelling houses, 48 no. 3 bedroom semi-detached dwelling houses, 20 no. 3 bedroom townhouses and 9 no. 2 bedroom townhouses. The proposed development also provides for a revised central amenity parkland from that previously permitted by Cork County Council Planning Reference 16/4289. Access to the proposed development will be via the existing junction with the Carrigaline Road and internal road network permitted by planning reference 16/4289 (as amended by planning references 20/4650 and 20/5451).

At:

Further to Notice dated the 01/09/2021 Cork County Council hereby conveys a grant of **Permission** for the application described above subject to the conditions set out in the schedule attached to the said Notice dated 01/09/2021 of its intention to grant **Permission**.

Signed on behalf of Cork County Council



P. Treacy
DATE: 16/12/2021

NOTE FOR GUIDANCE OF DEVELOPERS
A grant of Planning Permission or Permission Consequent on the grant of Outline Permission does NOT of itself empower a person to carry out a development unless that person is otherwise legally entitled to do so. Unless otherwise stated or unless it is revoked a Permission or Permission Consequent on the Grant of Outline Permission is valid for a period of five years.

Any development which takes place prior to the payment of a financial contribution required by any of the conditions attached to a Permission or Permission Consequent on the grant of Outline Permission will be unauthorized until compliance with the condition or conditions.

Please note that there is an onus on developers to ensure that there is no danger to the public as a result of the proposed development.

- Dates should not be based on conditional grant 01/09/2021 above, but on dates of final grant 16/12/2021.





BCMS – CN Related Learnings

- Where scheme is based on original and revised planning applications, sometimes difficulty fitting each planning ref. and corresponding dates on the form.

Planning Permission No.: <u>16/04289 & 19/04414</u> Dated: <u>18/10/2016</u> Date of expiry: <u>17/10/2026</u>
Fire Safety Certificate No.: (if applicable) <u>****</u>
Disability Access Certificate No.: (if applicable) <u>****</u>

BCMS – CN Related Learnings

Location


ATTENTION: PLEASE REVIEW THE ADDRESS, EIRCODE AND MAP PIN LOCATION PRIOR TO SUBMISSION. IT IS THE RESPONSIBILITY OF THE PERSON CREATING THE NOTICE TO ENSURE THAT ADDRESS AND LOCATION DETAILS ARE CORRECT BEFORE SUBMISSION.
Please note the purpose of this section is to capture an accurate location of the proposed development or works. Latitude and Longitude must be populated by either dropping a pin on the map. Search by Address or Search by Eircode (for existing buildings). In most cases mandatory address fields will also need to be filled manually. Address details are generated by Google Maps and may be manually updated should incorrect details populate.

Eircode: Street*:

Town*: County*:

Latitude*: Longitude*:

Map Satellite

A Google Maps screenshot showing a residential area. A red pin is placed on a street. Other landmarks include 'Mully Ct Wurtelown Sewage Treatment Works', 'Asian World Pet Store', and 'Dunough House Par 3 Golf Course'. The map is zoomed in to show individual houses and streets.

When you click on the map the location is changed and address fields data is updated with the new location.

- ◆ When entering location of development should include full addresses of units for clarity. Some local authorities insist on this. Use the search by address button to locate site on the map. Rural/urban place maps from planning application are useful to check correct location of pin on map.

BCMS – CN Related Learnings



The screenshot shows the 'Building Particulars' form in the BCMS web application. The form is divided into several sections:

- Navigation:** My Dashboard, My Details, My Notices (selected), My Applications (Beta mode), My Certificates, Take a tour, Logout.
- Project Particulars:** Online Assessment, Phasing, Nominate Roles, Statutory Documents, Supporting Documents, Payment.
- Building Particulars:**
 - Building Name / Brief Description*:** Text input field.
 - Does the building/works involve a protected structure or national monument*:** Dropdown menu with 'Select'.
 - FSC No. (if applicable):** Text input field.
 - DAC No. (if applicable):** Text input field.
 - Type of Building or Works*:**
 - Construction of a new building(s)
 - Extension to existing building(s)
 - Material alteration of existing building(s), or part
 - Material change of use of existing building(s), or part
 - Proposed use of building*:**
 - Residential (Dwellings)
 - Residential (Institutional)
 - Residential (Other)
 - Office
 - Shop
 - Shopping Centre
 - Assembly and Recreation
 - Industrial
 - Storage
 - Agricultural
 - Other (Non Residential)
 - No. of Buildings of this building type*:** Text input field.

- Each house type should be included as a separate building.
- Each Apartment building can each be uploaded as a separate building. FSC No. is required for each apartment building. Floor area can be obtained from FSC.

BCMS – CN Related Learnings

Part A (Structure) ▼

Consequence Class?: ? Is a specialist engineered foundation required?: ?

Do the building/works involve a balcony?: ?

Part B (Fire) ▼

Is a Fire Engineered solution proposed?: ? Are compartments/separating walls required?: ?

Has a cladding or curtain wall system been proposed?: ?

Part C (Site Preparation and Resistance to Moisture) ▼

Is the site located in an area of high radon?: ?

Part D (Materials and Workmanship) ▼

Have you ensured that the design includes the use of proper materials which are fit for purpose and intended location and that these will be constructed in a workmanlike manner?: ?

- Refer to TGD A for consequence class of building - 1 for houses, 2a for apartments to 4 storeys, 2b for apartments to 15 storeys.



BCMS – CN Related Learnings

My Notices

Use the tabs below to create and/or view your Notices and/or Certificates.

My Dashboard | My Details | **My Notices** (+ New Notice) | My Applications (Beta mode) (+ New Application) | My Certificates (+ New Certificate) | Take a tour | Logout

Project Particulars | Online Assessment | Phasing | Nominate Roles | Statutory Documents | **Supporting Documents** | Payment

Building Identifier	Purpose group	Sub group	Quantity	Construction type	Options
House Type Gc	Residential (Dwellings)	Dwelling houses	1	Timber Frame	View
House Type Hc	Residential (Dwellings)	Dwelling houses	4	Timber Frame	View
House Type H2c	Residential (Dwellings)	Dwelling houses	9	Timber Frame	View
House Type Cc	Residential (Dwellings)	Dwelling houses	8	Timber Frame	View
House Type Jc	Residential (Dwellings)	Dwelling houses	5	Timber Frame	View
House Type C2c	Residential (Dwellings)	Dwelling houses	2	Timber Frame	View
House Type C1c	Residential (Dwellings)	Dwelling houses	2	Timber Frame	View
House Type Kc	Residential (Dwellings)	Dwelling houses	10	Timber Frame	View
House Type G2c	Residential (Dwellings)	Dwelling houses	6	Timber Frame	View

Summary

Fee	Total No. of Apartment/Maintenance Units	Total No. of Dwelling Units	Total No. of Buildings
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- Where submission includes multiple house types - upload of online assessments and supporting documents can be extremely slow - better to break large c/notice submissions into multiple smaller c/n submissions to avoid this.
- Each house type should be included as a separate building.
- Apartment building types can each be uploaded as a separate



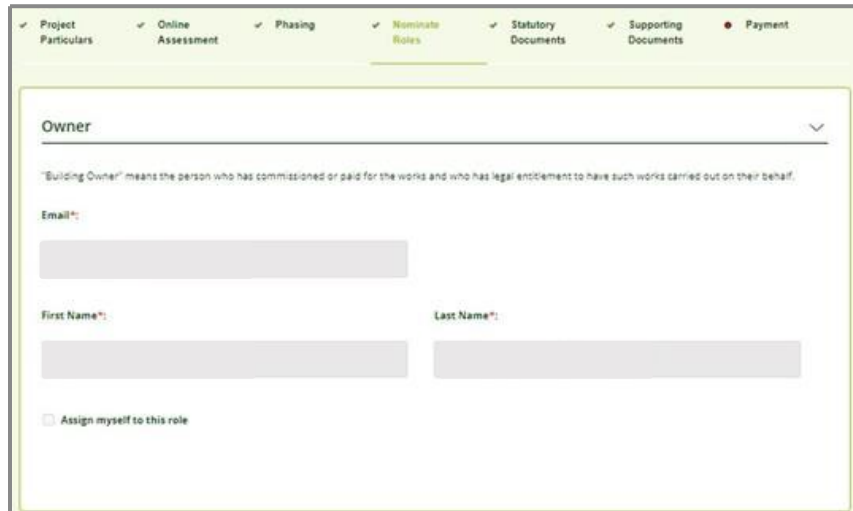
BCMS – CN Related Learnings

A screenshot of a software interface showing the "Phasing" section. At the top, there are five tabs: "Project Particulars", "Online Assessment", "Phasing", "Nominate Roles", and "Statutory Documents". The "Phasing" tab is selected. Below the tabs is an "Edit" button. The main content area displays the following information:

Total No. of Phases	4	Phase For This Notice	4
Total No. of Dwellings Units (all phases)	348	Total No. of Multiple Unit Dwellings (all phases)	99
No. of Dwelling Units for this Phase	34		

- Total no. of dwellings should be consistent with total. no. on planning permission ref. - refer to planning permission notification.
- The Total no. of phases and each subsequent phase on original and each subsequent c/notice for a particular planning reference should be consistent. Easiest way to do this is to check phases on original or previous c/n form.
- Total no. of multiple unit dwellings (apartments/duplex units) should be consistent with total. no. on planning permission ref. - refer to planning permission notification.

BCMS – CN Related Learnings

A screenshot of the BCMS 'Nominate Roles' form. The form has a navigation bar at the top with tabs: Project Particulars, Online Assessment, Phasing, Nominate Roles (selected), Statutory Documents, Supporting Documents, and Payment. Below the navigation bar is a dropdown menu for 'Owner'. A text box explains: "Building Owner" means the person who has commissioned or paid for the works and who has legal entitlement to have such works carried out on their behalf. There are input fields for 'Email *', 'First Name *', and 'Last Name *'. At the bottom, there is a checkbox labeled 'Assign myself to this role'.

- Prior to making a submission, each party (designer, owner, AC, Builder) will need to register their email and details by signing up to the BCMS on the bcms homepage. <https://nbco.localgov.ie/>
- Otherwise system will not accept entries.
- Once correct email is entered, the other details will self-populate.





BCMS – CN Related Learnings

- Once each party's email and details have been entered, each party will receive a notification to accept respective roles.
- Each party will need to sign in on BCMS homepage and accept assigned role.

✓ Project Particulars	✓ Online Assessment	✓ Phasing	✓ Nominate Roles	✓ Statutory Documents	✓ Supporting Documents	• Payment
Edit						
Role	Name	Accepted Role				
Owner		Accepted				
Builder		Accepted				
Designer		Accepted				
Assigned Certifier		Accepted				



BCMS – CN Related Learnings

- Statutory documents must be downloaded using download button and sent to each as assigned party for signing and dating.

File Name	Document Type	Download	Remove File
c-n.pdf	Commencement Notice	Download	🗑
design_certificate_cn_20231101.pdf	Design Certificate	Download	🗑
notice_of_assignment_of_builder_250-283_gleann_signed_by_dm_011123.pdf	Notice of Assignment (Builder)	Download	🗑
notice_of_assignment_of_assigned_certifier_250-283_gleann_signed_by_dm_011123.pdf	Notice of Assignment (Assigned Certifier)	Download	🗑
undertaking_by_builder_250-283_gleann_signed_by_dm_011123.pdf	Undertaking By Builder	Download	🗑
undertaking_by_assigned_certifier_cn_55.pdf	Undertaking by Assigned Certifier	Download	🗑
-	Supporting Documentation List	-	-

BCMS – CN Related Learnings

- Returned statutory forms can be uploaded to system using the edit button.

[Edit](#)

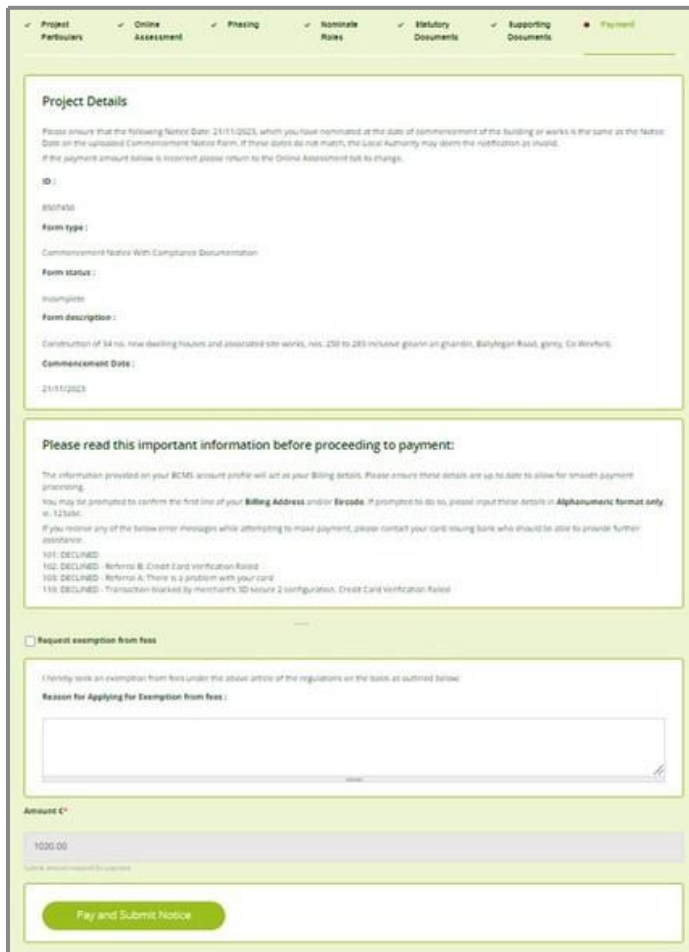
File Name	Document Type	Download	Remove File
c-n.pdf	Commencement Notice	Download	▼
design_certificate_cn_20231101.pdf	Design Certificate	Download	▼
notice_of_assignment_of_builder_250-283_gleann_signed_by_dm_011123.pdf	Notice of Assignment (Builder)	Download	▼
notice_of_assignment_of_assigned_certifier_250-283_gleann_signed_by_dm_011123.pdf	Notice of Assignment (Assigned Certifier)	Download	▼
undertaking_by_builder_250-283_gleann_signed_by_dm_011123.pdf	Undertaking By Builder	Download	▼
undertaking_by_assigned_certifier_cn_55.pdf	Undertaking by Assigned Certifier	Download	▼
-	Supporting Documentation List	-	-

BCMS – CN Related Learnings

- Supporting documentation must be uploaded to system using edit button.
- The following documents will be required - Plan elevation section drawings for each house/building type; Part L compliance report for each house/building type; site plan showing street names addresses and house/building types, with addresses subject to the current submission highlighted; a preliminary inspection report to include unit addresses and indicating inspection stage for each unit.

✓ Project Particulars	✓ Online Assessment	✓ Phasing	✓ Nominate Roles	✓ Statutory Documents	● Supporting Documents	● Payment
<input type="button" value="Edit"/>						
File Name	Document Type	Remove File				
schedule_of_documents_4.pdf	Schedule of Documents -refer to Question 6 Commencement Notice	▼				
site_location_plan_1.pdf	Plans	▼				
gleann_an_ghairdin_-_htb_-_deap_part_l_report.pdf	Part L Compliance Report including Building Energy Rating	▼				
inspection_plan_3.pdf	Preliminary Inspection Plan, prepared by the Assigned Certifier	▼				
arch_gs_dwgs_-_htc_a_htb_htalt.pdf	General Arrangement Drawings	▼				
gleann_an_ghairdin_-_hta_-_deap_part_l_report.pdf	Part L Compliance Report including Building Energy Rating	▼				

BCMS – CN Related Learnings



The screenshot shows a web interface for the 'Payment' step of an online assessment. The top navigation bar includes tabs for Project Particulars, Online Assessment, Pricing, Nonrate Rules, Statutory Documents, Supporting Documents, and Payment. The main content area is titled 'Project Details' and contains the following information:

- Project Details:**
 - Please ensure that the following Notice Date: 21/11/2023, which you have nominated at the date of commencement of the building or works is the same as the Notice Date on the validated Commencement Notice Form. If these dates do not match, the Local Authority may deem the notification as invalid.
 - If the payment amount below is incorrect please return to the Online Assessment link to change.
 - ID:** 8507430
 - Form type:** Commencement Notice With Compliance Demonstration
 - Form status:** Incomplete
 - Form description:** Construction of 34 no. new dwelling houses and associated site works, nos. 230 to 265 inclusive given an grant, Ballykeigh Road, Garry, Co. Wick.
 - Commencement Date:** 21/11/2023
- Please read this important information before proceeding to payment:**
 - The information provided on your BCMS account profile will act as your Billing details. Please ensure these details are up to date to allow for smooth payment processing.
 - You may be prompted to confirm the first line of your **Billing Address** and/or **Ecode**. If prompted to do so, please input these details in **Alphanumeric format only**, ie. 123456.
 - If you receive any of the below error messages while attempting to make payment, please contact your card issuing bank who should be able to provide further assistance:
 - 101: DECLINED - Refer to B. Credit Card Verification Failed
 - 102: DECLINED - Refer to A. There is a problem with your card
 - 103: DECLINED - Transaction blocked by merchant. ID issue 2 configuration. Credit Card Verification Failed
- Request exemption from fees**
 - I hereby seek an exemption from fees under the above article of the regulations on the basis as outlined below:
 - Reason for Applying for Exemption from fees:**
- Amount €***
 - 1000.00
-

- **Payment**
- Payment can be made by using “Pay and submit notice” button and entering credit card details. A fee of Euro 30 applies to each house address. A fee of euro 30 applies to each apartment building.
- It will not be possible to make payment if the c/notice date is within 14 days of application date.
- If this occurs, return to project details tab and push out commencement date a day or Return to statutory documents tab to download a revised c/notice form to send to building owner for signing and dating. On receipt of signed and dated form, upload to statutory documents and make payment

BCMS – CN Related Learnings



The screenshot shows the SoloCheck.ie website. The header includes navigation links for 'Home', 'Irish Companies', and 'Irish Businesses', along with 'LOGIN', 'JOIN', and '0 ITEMS' buttons. Below the header are tabs for 'WHY SOLOCHECK?', 'CHECK COMPANIES', 'CHECK INDIVIDUALS', 'BUSINESS BAROMETER', and 'INDUSTRY REVIEW'. The main content area features a promotional banner for 'Set Terms & Guide Credit Limits' with a 'WHY SOLOCHECK?' button. To the right is a search section with radio buttons for 'Ireland', 'UK', and 'International', and tabs for 'Companies', 'Directors', and 'Individuals'. Below the banner is a blue bar stating 'Ireland's favourite site for Company Searches, Business information and Credit Reports'. The bottom section is divided into three columns: 'Recent Judgments' (listing companies like Trushare Developments Limited), 'Meetings of Creditors' (listing dates like 4th of November, 2023), and 'Top Judgments' (showing values like €454,000 and €368,000).

Recent Request from BCA:
Requesting CRO number of Building Firm “Check that signature is a Director”





Thank You

**Douglas Ritchie BSc Building Surveying,
Registered Building Surveyor, MCIQB,
Building Control & Technical Manager
HomeBond Building Control Ltd**

