

# Inspections & Compliance NBCO Inspection Programme



*An Oifig Náisiúnta um Rialú Foirgníochta*  
NATIONAL BUILDING CONTROL OFFICE

## CPD Day MMC

31<sup>st</sup> January 2024

- Education & Training
- Compliance Support
- **Inspections**
- BCMS

[support@nbco.gov.ie](mailto:support@nbco.gov.ie)



 (28) NBCO DCC - YouTube



Website: [www.localgov.ie](http://www.localgov.ie)

Twitter: [@NBCOIreland](https://twitter.com/NBCOIreland)

YouTube: [NBCO DCC](https://www.youtube.com/NBCO DCC)

Jennifer Mills, MRIAI

# NBCO Inspections Programme 2024

- Oversight
- Support
- Direction



## National Building Control and Market Surveillance Office

Welcome to the Building Control Management System (BCMS)

Log In

Sign Up



Working with Building Control Authorities in Promoting a Culture of Compliance with the Building Regulations



# NBCO Promoting a Culture of Compliance

## Building Regulations

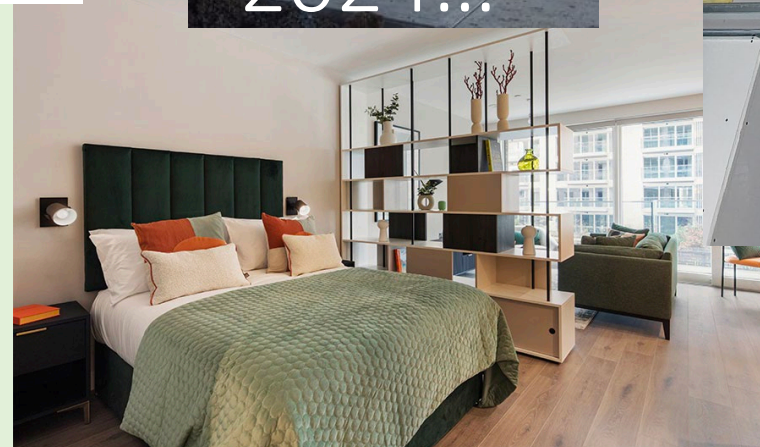
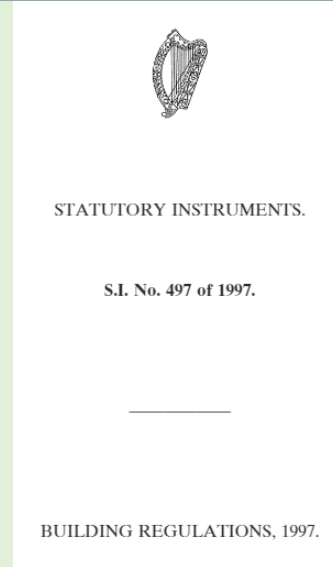
purposes—

- (a) making provision for securing the **health, safety and welfare of persons in or about buildings, and persons who may be affected by buildings** or by matters connected with buildings; and making provision for the :
- (b) special needs of people with disabilities in relation to buildings;
- (c) conservation of fuel and energy in relation to buildings
- (d) securing in relation to buildings the efficient use of resources;
- (e) encouragement of good building practice;
- (f) transposition of the requirements of Directive on the energy performance of buildings.



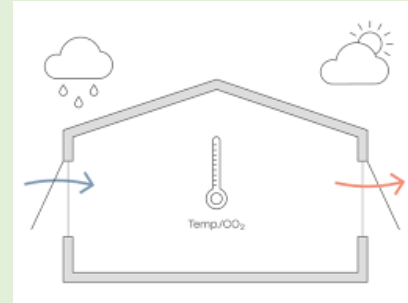


# Inspections – Evolving Built Environment



# Inspections - Environmental considerations

Preparation of site	C1	The ground to be covered by a building shall be reasonably free from vegetable matter.
Subsoil drainage	C2	Subsoil drainage shall be provided if necessary so as to prevent the passage of ground moisture to the interior of the building or damage to the fabric of the building.
Dangerous substances	C3	Reasonable precautions shall be taken to avoid danger to health and safety caused by substances (including contaminants) found on or in the ground to be covered by a building.
Resistance to weather and ground moisture	C4	The floors, walls and roof of a building shall be so designed and constructed as to prevent the passage of moisture to the inside of the building or damage to the fabric of the building.
Definitions for this Part	C5	In this Part – "Contaminant" includes any substance which is or could become flammable, explosive, corrosive, toxic or radioactive and any deposits of faecal or animal matter. "Floor" includes any base or surface of the ground, or the surface of a wall, or the upper surface of a ceiling, and the upper surface of any finishes which are laid as part of the floor. "Moisture" includes water vapour.



Rainwater ingress

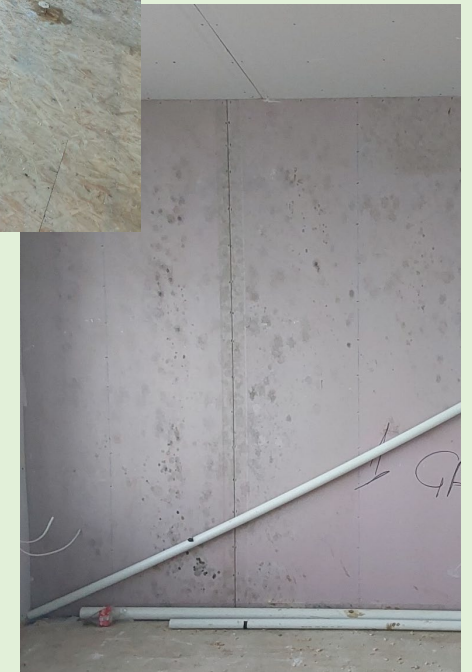
Mould growth



long term consequences of trapped water



Drying out process





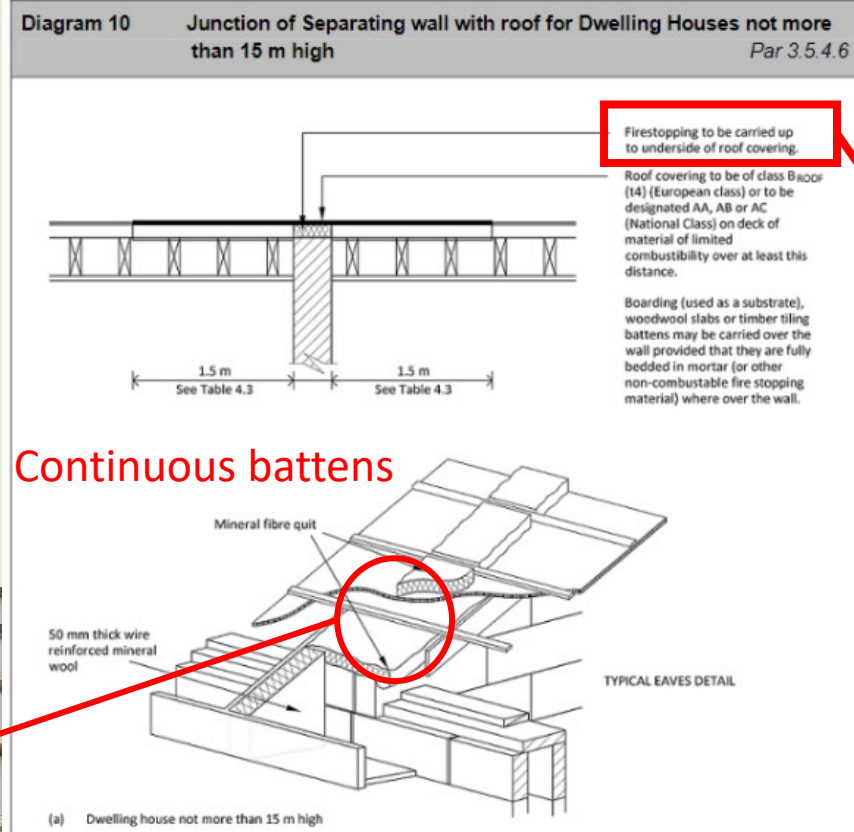
# Inspections - Prima facia compliance

**A**

Structure

Building Regulations 2012

Technical Guidance Document



**B**

Fire Safety

Dwelling Houses

Volume 2

Building Regulations 2017

Technical Guidance

**E**

Riailtas na hÉireann  
Government of Ireland

Supplementary Guidance to TGD B (Fire Safety) Volume 2- Dwelling Houses 2017

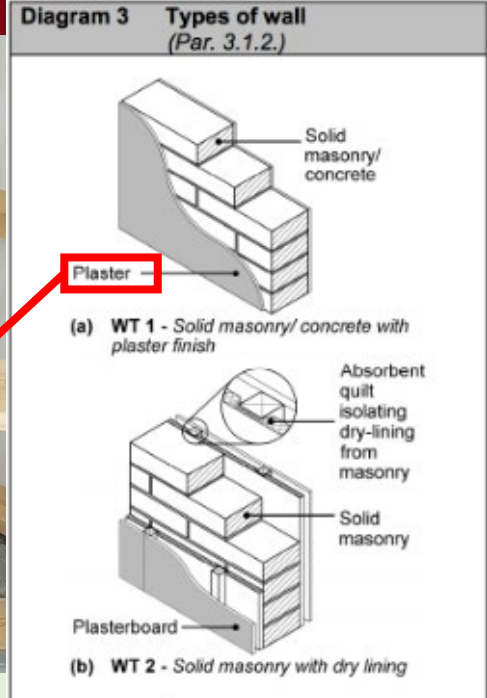
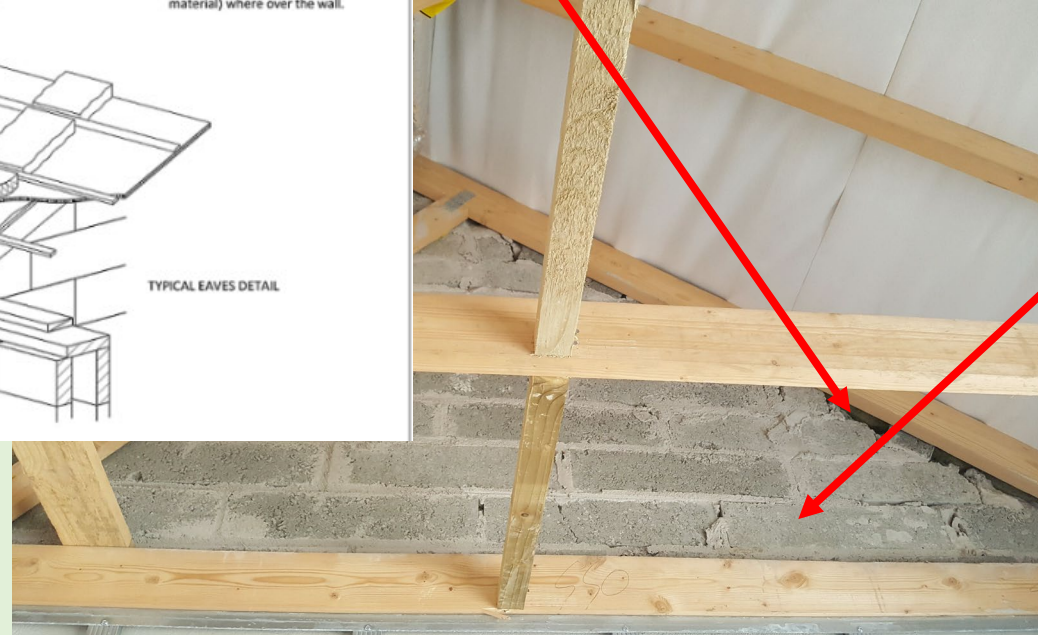
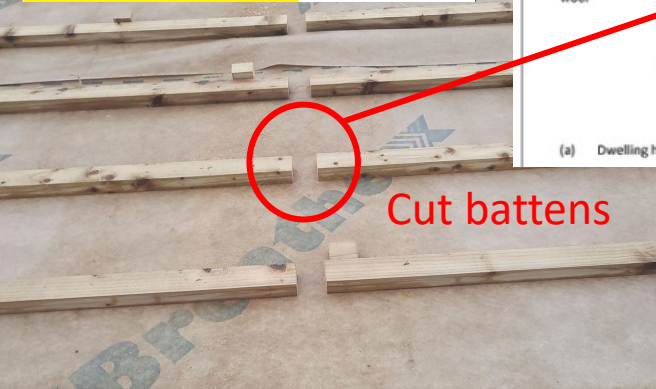
Guidance on Fire Resistance of Walls, Intermediate Floors, and Trussed Roofs in dwellings

**E**

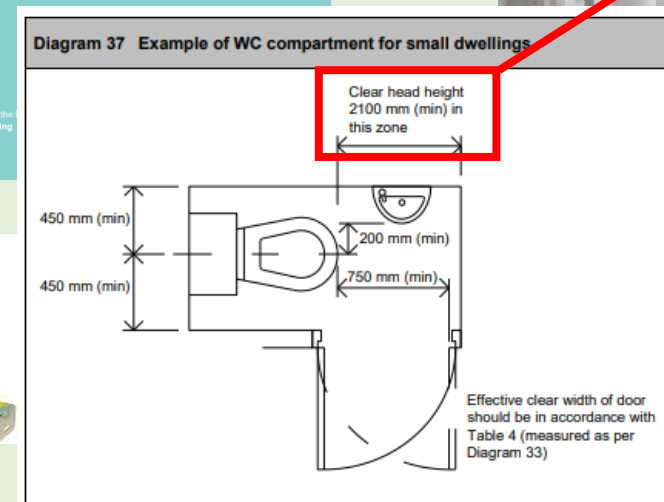
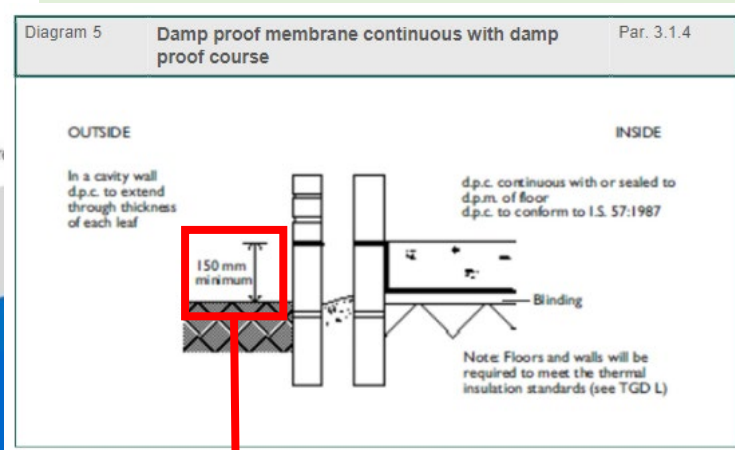
Sound

Building Regulations 2014

Technical

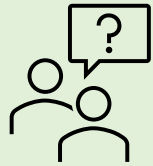


# Inspections - Prima facia compliance



# Inspections – Proper Use of materials

## NSAI Agrément Certificates




CI/SIB (21.9) Hn7

**IRISH AGRÉMENT BOARD**  
**CERTIFICATE NO. 07/0277**  
 Amvic Ireland,  
 Unit 11 Rosemount Business Park,  
 Ballycoolin, Dublin, D11 Y382.  
 T: +353 1 8991883  
 E: [info@amvicireland.com](mailto:info@amvicireland.com)  
 W: [www.amvicireland.com](http://www.amvicireland.com)

**Insulating Concrete Formwork System**

ent (Irish Agrément Board) is designated by Government to issue European Technical Approvals.  
 certificates establish proof that the certified products are 'proper materials' suitable for their intended  
 under Irish site conditions, and in accordance with the **Building Regulations 1997 to 2019**.



### 2.1.5 External Walls

The different elements of the external wall are as follows, from external surface to internal:

- External render system thickness per certificate holder's requirements
- 64mm/75mm/100mm EPS board (outer leaf)
- Amvic ICF form with 150mm reinforced concrete core width
- 64mm/75mm/100mm EPS board (inner leaf)
- 12.5mm plasterboard slabs screw fixed to the polypropylene connectors
- 4mm gypsum skin coat plaster

The external renders certified for use onto EPS for new build are described in their own Certificates and Section 2.1.12.

### Definition for this Part

D3

In this Part, "proper materials" means materials which are fit for the use for which they are intended and for the conditions in which they are to be used, and includes materials which:

- bear a CE Marking in accordance with the provisions of the Construction Products Regulation;
- comply with an appropriate harmonised standard or European Technical Assessment in accordance with the provisions of the Construction Products Regulation; or
- comply with an appropriate Irish Standard or Irish Agrément Certificate or with an alternative national technical specification of any State which is a contracting party to the Agreement on the European Economic Area, which provides in use an equivalent level of safety and suitability.

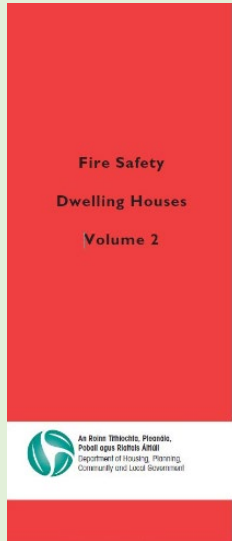


"Agreement on the European Economic Area" means the Agreement on the European Economic Area between the European Union, its Member States and the Republic of Iceland, the Principality of Liechtenstein and the Kingdom of Norway as published in the Official Journal of the European Communities (O.J. No. L1, 03.01.1994, page 3).

"Construction Products Regulation" means Regulation (EU) No. 305/2011 of the European Parliament and of the Council of 9 March 2011 laying down harmonised conditions for the marketing of construction products and repealing Council Directive 89/106/EEC.



# Inspections - Designing out risks



**B**

Build  
Regula  
201

(a) The window should have an openable section which provides an unobstructed clear open area of at least 0.33 m<sup>2</sup>.  
The height should be not less than 450 mm. The width should be not less than 450 mm. The opening section should be capable of remaining in the position which provides this minimum clear open area.

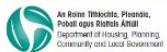
Tech  
Guid  
Docu



Stairways, Ladders,  
Ramps and Guards

**K**

Building  
Regulations  
2014



450mm?

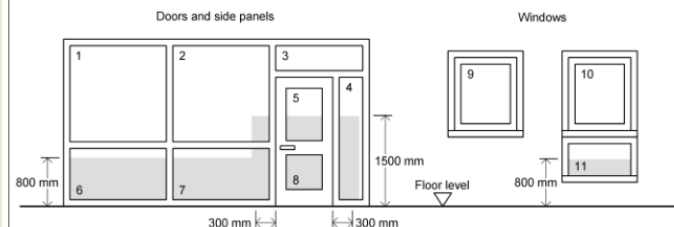
Materials and  
Workmanship

**D**

Building  
Regulations  
2013

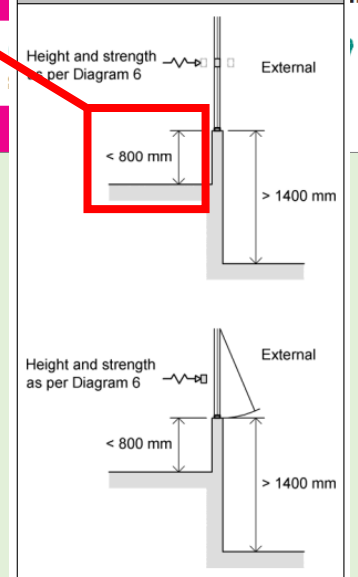
Technical  
Guidance  
Document

Diagram 1 Critical glazing locations in internal and external walls Par. 1.5

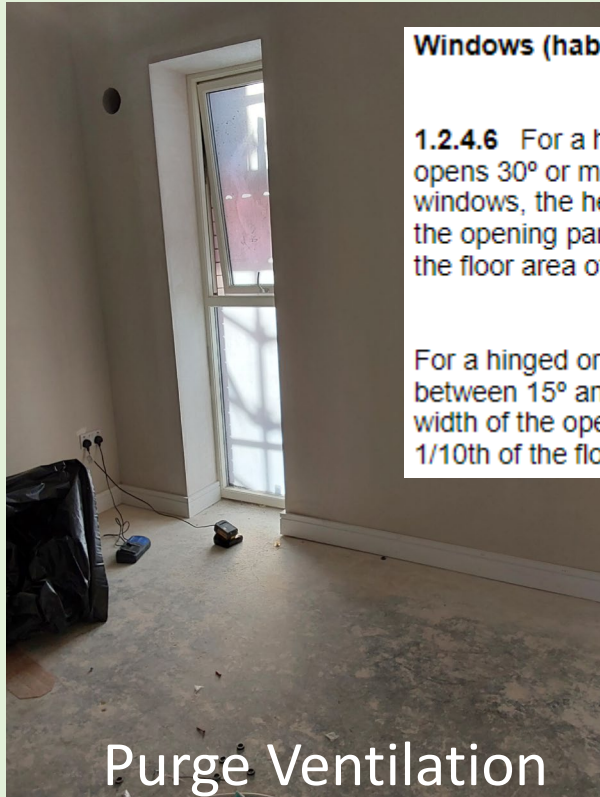


Note:  
The shaded areas show critical locations in terms of safety. Glazing areas numbered 2, 4, 5, 6, 7, 8 and 11 should be in accordance with the recommendations of BS 6262, Part 4.

Diagram 7 Guarding design at window Par 2.4



# Inspections - Ventilation



Purge Ventilation

## Natural Ventilation

Where the intended design is greater than 3 m<sup>3</sup>/h.m<sup>2</sup> and the actual construction achieves a lower value, then appropriate additional measures should be implemented to ensure adequate ventilation.

### Windows (habitable rooms)

**1.2.4.6** For a hinged or pivot window that opens 30° or more, or for sliding sash windows, the height multiplied by the width of the opening part should be at least 1/20<sup>th</sup> of the floor area of the room.

For a hinged or pivot window that opens between 15° and 30°, the height multiplied by width of the opening part should be at least 1/10<sup>th</sup> of the floor area of the room.



Depth of finishes?

**NSAI**  
NSAI Agrément  
Approved Scheme  
Master Document for  
Ventilation Validation Registration

I.S. EN 14134:2019, Ventilation for buildings - Per testing and installation checks of residential ventilation systems

**F**  
Rialtas na hÉireann  
Government of Ireland  
Building Regulations  
Technical Guidance Document L 2022  
Conservation of Fuel and Energy - Dwellings

**Part 3 - Commissioning details**

**3.1 Commissioning Equipment**

Schedule of air flow measurement equipment used, (model and serial)	Date of last INAB calibration
1.	
2.	
3.	

**3.2 Air Flow Measurements - Natural Ventilation**

Extract Fan reference (as per Part 1.1.2)	Measured Ex
Extract Fan 1.	
Extract Fan 2.	
Extract Fan 3.	
Extract Fan 4.	
Extract Fan 5.	
Extract Fan 6.	

*For kitchen extract canopies/hoods*

**3.3 Air Flow Measurements (Extract) -**

Room reference (location of terminals)	Measured Air Flow Maximum/Best Rate (l/s)
Kitchen	
Bathroom	
En Suite	
Utility	
Other...	
Other...	
Other...	

**Part 4 - Verification of Airflows by Third Party Certification Tester**

**4.1.a Third Party Certification - Documents handover to the customer**

	Yes	No
Confirm availability of operation and maintenance document, handover document for client		
Incl. type of ventilation system		
Incl. type of controls		
Incl. design air volume flow rates		

**4.1.b Third Party Certification - Components check**

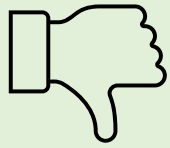
	Yes	No
Is the system safe to operate?		
Is there adequate access and free space to the system for the purposes of operation and maintenance?		
Has the system been left in reasonably clean condition?		
Are all components in good condition?		

**4.2 Third Party Certification Flow Rate Tester Equipment**

Schedule of air flow measurement equipment used, (model and serial)	Date of last INAB calibration
1.	
2.	
3.	



# Inspections - Workmanship



Site operations leading to damage



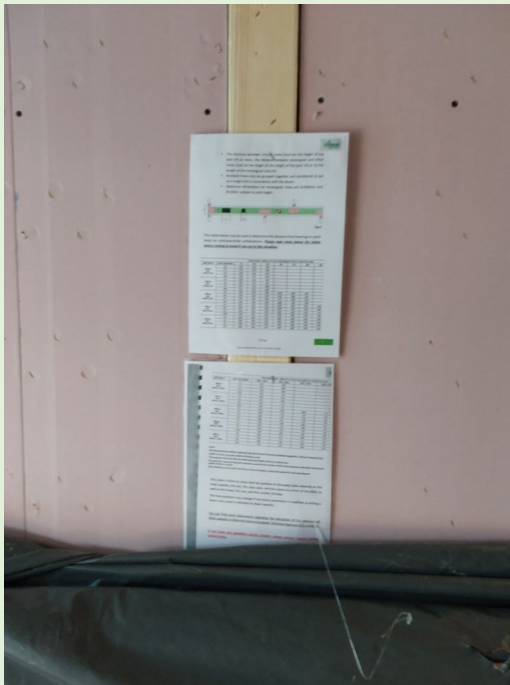
Damaged materials  
No longer fit for purpose



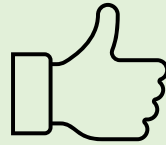
Poor workmanship



# Inspections - Best Practice



Checklist and guidance for operatives on site

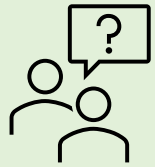


Temporary protection of elements not designed to be exposed long term such as timber roof decks





# Inspecting to Promote Compliance



Building Control Inspections - 2022

Local Authority:

Submission Number:

CN Ref No.:

CN Type

- Commencement Notice with Compliance Documentation
- Commencement Notice without Compliance Documentation
- Commencement Notice with Opt Out Declaration
- 7 Day Notice

Number of Buildings covered by CN:

Number of Buildings inspected on this visit:

Number of Buildings inspected for NOAC  
Note: Apartment Block to be treated as one unit for NOAC numbers

Development Type:

Weather on Day of Site Visit?:

General Site Photos:

Location (main entrance geopoint)  
53°21'N 6°16'W

# Section 11 Request

**Building Control Acts 1990-2014  
Section 11 Compliance Request**

[Local Authority],  
[Address 1],  
[Address 2],  
[Address 3]  
Telephone: XXXXXXXX Email: [buildingcontrolauthority@county.ie](mailto:buildingcontrolauthority@county.ie)  
Our ref: [BCMS Submission No./ CN No.]

**PRIVATE AND CONFIDENTIAL**

[Name]  
[Company]  
[Address 1]  
[Address 2]  
[Address 3]

[Date]

Re: [Project Description] at [Project Location]

BCMS Submission No. [XXXXXX]

Dear [Name],

I refer to the above works notified to us by way of [BCMS Submission number/ CN] [XXXXXX] on [Date].

You are the owner/builder of the buildings and/or works.

or

You have been nominated by the Owner of the works to be the Assigned Certifier and you have undertaken to carry out this role. In accordance with the Code of Practice for Inspecting and Certifying Buildings and Works; part of your role as Assigned Certifier is to act as the single point of contact with the Building Control Authority in respect of the works. Notwithstanding this, the Building Control Authority may also communicate directly with the building Owner.

or

You as the owner have decided to opt out of the requirement for statutory certification and have undertaken to "ensure that the dwelling or extension is designed and constructed in accordance with the relevant requirements of the Second Schedule to the Building Regulations 1997 (as amended).<sup>1</sup>" You as an owner having signed a "declaration of intention to opt out of statutory certification" and that you "understand my statutory obligation as an owner to ensure that the dwelling or extension is designed and constructed in accordance with the relevant requirements of the Second Schedule to the Building Regulations 1997 (as amended)".

**for building control purposes**

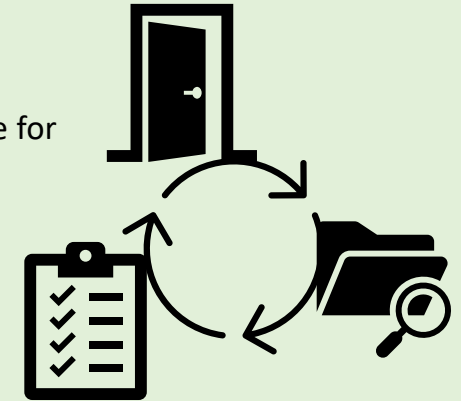
As an authorised person under Section 11 (3) of the Building Control Acts 1990 to 2014, I now request you to submit such drawings, documents, product material data, testing, design certification and any other information as may be reasonably necessary to demonstrate compliance with the following parts of the Second Schedule of the Building Regulations:

## Building Control Act 1990

Powers of Inspection by Authorised persons

11-(3) Any authorised person may—...

...(c) require the owner or occupier of the building, or any person responsible for the construction of the building, to provide such plans, documents and information as are necessary to establish whether the requirements of building regulations are being complied with in relation to the building;



Part A Structure (Note also Technical Guidance Document Part A structure 2012)	
The Requirements	
<p><b>A1 Loading (Section 1)</b></p> <p>(1) A building shall be designed and constructed, with due regard to the theory and practice of structural engineering, so as to ensure that the combined actions that are liable to act on it are sustained and transmitted to the ground -</p> <p>(a) Safely, and</p> <p>(b) Without causing such deflection or deformation of any part of the building, or such movement of the ground, as will impair the stability of any part of another building.</p> <p>(2) In assessing whether a building complies with sub-paragraph (1), regard shall be had to the variable actions to which it is likely to be subjected in the ordinary course of its use for the purpose for which it is intended.</p>	<p>Submit such plans, summary calculations (of main structural elements), documents, and information to show that the requirement of <b>A1 Loading</b> are being complied with in relation to your building.</p> <p>(In relation to the following structural element:)</p> <p>(b) Foundation (c) Walls (d) Floors (e) Roof Structure (f) Etc.</p> <p>(Other Forms of Construction)</p> <p>(g) Timber Frame Design to IS 440 &amp; Eurocode 5 (h) Masonry (Eurocode 6) (i) Concrete (Eurocode 2) (j) Steel (Eurocode 3) (k) Etc.</p> <p>(delete as required)</p>
<p><b>A2 Ground Movement (Section 1)</b></p> <p>A building shall be designed and constructed, with due regard to the theory and practice of structural engineering, so as to ensure that movements of the subsoil caused by subsidence, swelling, shrinkage or freezing will not impair the stability of any part of the building.</p>	<p>Submit such plans, summary calculations (foundations), documents, and information to show that the requirement of <b>A2 Ground Movement</b> are being complied with in relation to your building.</p> <p>(In relation to the following:)</p> <p>(a) Site investigation (Eurocode 7)</p> <p>(Specialist Foundations)</p> <p>(a) Piling (b) Ground stabilisation techniques (c) Vibro-compaction (d) Etc.</p> <p>(delete as required)</p>

**National Building Control and Market Surveillance Office**

Home > New Certificate

### Add New Certificate

Use the tabs below to create and/or view your Notices and/or Certificates.

- My Dashboard
- My Details
- My Notices + New notice
- My Applications (Beta mode) + New Application
- My Certificates + New certificate**
- Take a tour
- Logout

Select the type of Certificate you wish to submit.

**NEW CERTIFICATE OF COMPLIANCE ON COMPLETION**

During the submission process you will be asked for:

- The Inspection Plan as implemented
- Completed "Annex" to Certificate of Compliance on Completion
  - listing the supporting compliance documentation
  - any changes since the Commencement Notice was submitted

[Create new Certificate](#)



# Building Control - Enforcement



## NATIONAL BUILDING CONTROL MANAGEMENT PROJECT

Sample Enforcement Notice-Pursuant to section 8(1) of the Building Control Act, 1990-2014

Building Control Authority  
County Hall, ~~XXXXXXXX~~

### Enforcement Notice

Pursuant to section 8(1) of the Building Control Act, 1990-2014

To:  
[Owner/Builder/Person Responsible]  
[Address]

**WHEREAS** you carried out works at [Location, Address] to which the Building Regulations, 1997 (as amended) apply;

**AND WHEREAS** the said works have not been carried out in conformity with the Building Regulations, 1997 (as amended), namely:

Part A – Structure  
Part B – Fire Safety  
Part C – Site Preparation and Resistance to Moisture  
Part D – Material and Workmanship  
Part F – Ventilation  
Part L – Conservation of Fuel and Energy

(Delete as appropriate on compliance document submitted on foot of Section 11 request) in contravention of article 9(1)(a) of the Building Regulations, 1997 (as amended) for contravening parts A, B, C, D, F & L (Delete as based on compliance document submitted on foot of Section 11 request) of the second schedule to the Building Regulations, 1997(as amended);

**AND WHEREAS** your failure to comply with the Building Regulations, 1997 (as amended), is not such a failure in relation to which [Building Control Authority] is prepared to grant a dispensation or relaxation pursuant to the Building Control Act, 1990-2014.

**AND WHEREAS** the said works were completed within five years of the service of this notice,

**NOW THEREFORE YOU ARE HERBY REQUIRED** to alter the buildings and/or works at [Location Address] for the purpose of complying with parts A, B, C, D, F & L of the second schedule to the Building Regulations, 1997 (as amended) within four weeks of the effective date of this notice,

**AND FURTHER TAKE NOTICE THAT** if you do not apply to the District Court you must comply with the terms of the notice within the period specified herein,

**AND FURTHER TAKE NOTICE THAT** if you do apply to the District Court and this notice is confirmed either unconditionally or subject to modification, alterations or additions, you must comply with the terms of the notice, or the notice as modified, altered or added to by the District Court, as the case may be, within the period specified herein, the period beginning on the date of the determination of the application to the District Court,

**AND FURTHER TAKE NOTICE THAT** if you apply to the District Court and withdraw your application, you must comply with the terms of the notice within the period specified in the notice, the period beginning on the date of the withdrawal of the application,

**AND FURTHER TAKE NOTICE THAT** if you fail to comply with this notice, to [Building Control Authority] may enter into [Location Address], and may enter any land necessary for that purpose, and therein take any action or do anything required by the notice,

**AND FURTHER TAKE NOTICE THAT** where to [Building Control Authority] so enters and takes any action or does anything in relation thereto, it may, on satisfying the Court that you carried out the works to which this notice relates, and that you failed to comply with notice, recover as a simple contract debt in a court of competent jurisdiction the costs of taking the action or doing such thing from the person on whom the notice was served.

**AND FURTHER TAKE NOTICE THAT** that if fail to comply with this notice, you will be guilty of an offence and subject:

1. on conviction on indictment, to a fine not exceeding €50,000, or to imprisonment for a term not exceeding two years, or to both; or
2. on summary conviction, to a class A fine, or to imprisonment for a term not exceeding six months, or to both,

**AND FURTHER TAKE NOTICE THAT** if you continue the offence after conviction, you will be guilty of a further offence on every day on which the offence continues and for such offence shall be subject on summary conviction to a class E fine for each day on which the offence is so continued,

**AND FURTHER TAKE NOTICE THAT** if you are convicted in proceedings brought by to [Building Control Authority], the Court shall, unless it is satisfied that there are special and substantial grounds for not doing so, order you pay to [Building Control Authority] the costs and expenses, as measured by the Court, incurred by it in relation to the investigation, detection and prosecution of the offence, including costs incurred in respect of the remuneration and other expenses of employees, consultants and advisers.

AUTHORISED BUILDING CONTROL OFFICER  
Signed

YYYYMMDD  
Date Served

Senior Building Control Officer  
Title

The Server  
Served By

# Part D3



**Moisture Resistant Grade??????**

**Our products should not be used in continuously damp conditions or in buildings that are not weather tight.**

- **Definition for this Part D3**

In this Part, “proper materials” means materials which are fit for the use for which they are intended and for the conditions in which they are to be used, and includes materials which:





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 NATIONAL BUILDING CONTROL OFFICE

Website: [www.nbco.localgov.ie](http://www.nbco.localgov.ie)  
 Twitter: [@NBCOIreland](https://twitter.com/NBCOIreland)  
 YouTube: [NBCO DCC](https://www.youtube.com/NBCO DCC)

- Education & Training
- Compliance Support
- **Inspections**
- BCMS
- Market Surveillance

[support@nbco.gov.ie](mailto:support@nbco.gov.ie)

GO RAIBH  
 MAITH  
 AGAT

SUSTAINABLE DEVELOPMENT GOALS

